

Development Permit Notice of Decision

Date of Decision: July 14, 2026


5104 69 Street
Beaumont, AB T4X 3E4

Proposed Development: Home-Based Business Major: *Golden Nest Dayhome*
Legal Description: Plan 232 2241, Block 4, Lot 15
Municipal Address: 5104 69 Street, Beaumont, AB
Land Use District: Integrated Neighbourhood
Permit Application No: D-2026-048
Tax Roll: 010488

Development Permit Status: Approved with conditions

Development Permit Conditions

The development noted above is considered a Discretionary Use within the Integrated Neighbourhood (IN) District and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont *Land Use Bylaw 944-19* shall be met. **Be sure to review all the documentation included with this permit.**

1. **As this permit has been issued for a discretionary use, this permit shall not come into full force and effect until expiration of the required 21-day appeal period, pending no appeals. Refer to appeal information below.**
2. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time, a new development permit shall be required.
3. Location of the business operations is approved as shown on the attached site plan.
4. A minimum of one (1) on-site parking stall shall be provided for Client parking, as approved on attached parking plan.
5. One (1) non-illuminated sign, no greater than 0.60m x 0.90m in area, shall be permitted.
6. Outdoor activities shall not cause a nuisance for adjacent properties.
7. No more than two (2) employees shall be in attendance on-site at any one time.
8. If the address of the business changes, this permit shall become void and a new permit shall be required to continue operations at a new location.

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9. Vehicle parking and on/off loading of people shall be controlled by the Applicant/Owner so as not to interfere with the amenities of the neighbourhood. The driveway shall be kept clear of snow to allow for parking.
10. Client appointments shall be staggered to avoid conflicts between arriving and departing clients/vehicles.
11. Hours of operation shall be restricted to 6:30 a.m. - 6:00 p.m., Monday to Friday.
12. A current and valid City of Beaumont [Business License](#) shall be required each year of operation, or this permit shall become void.
13. The Owner shall ensure that the amenities of the neighbourhood are not negatively affected due to excess noise, traffic, smell, or other conditions which may affect the quality of life of those in the neighbouring areas, as interpreted by the Development Authority.
14. Where a Day Home is a Use within a Residential Dwelling, the Owner/Applicant shall ensure compliance with the [Early Learning & Child Care Act](#), Alberta Child and Family Services Authority.
15. A maximum of six (6) children shall be permitted on-site at any one time. Children of the Applicant/Caregiver are not included in this number.

Additional Information

1. This application is **not** a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the [Alberta Safety Codes Act, RSA 2000, c S-1](#), the [National Building Code – Alberta Edition 2023](#), and all other applicable bylaws and/or regulations.
2. This Development Permit is issued under the City of Beaumont *Land Use Bylaw 944-19*. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, to any relevant federal or provincial statute or regulation, or to any easement, covenant, agreement, or contract affecting the subject lands.
3. Contact *Alberta One Call*, at 1-800-242-3447 to locate underground services prior to construction, if applicable.
4. Where a Day Home is a Use within a Residential Dwelling, the Owner/Applicant shall ensure compliance with the [Early Learning & Child Care Act](#), Alberta Child and Family Services Authority.
5. This permit is subject to approval or exemption by Leduc Public Health. Failure to comply may result in cancellation of this development permit and the associated business license. Contact [Leduc Public Health](#) directly to schedule an inspection.

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Permit Notification Information

In accordance with the City of Beaumont *Land Use Bylaw 944-19*, notice regarding this Development Permit shall be posted on the property.

Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Patricia Lauzé
Development Officer



Appeal Information

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) or the Land and Property Rights Tribunal if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

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Notice of Decision:	July 14, 2026
Appeal deadline:	August 4, 2026
Permit active (if no appeals filed):	August 5, 2026

To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at legislative@beaumont.ab.ca. Please visit our website for more details at www.beaumont.ab.ca

Permit No. D-2026-048

Home-Based Business Major

Golden Nest Day Home

Approved July 14, 2026

Development Officer

For HBB Major
Use/Location Only



17511-108 Ave
Edmonton, Alberta. T5S 1G2
T - (780) 406-6195

METRO NIXON 20
CRAFTSMAN- ELAN

MAIN FLOOR PLAN

AREA	1703 Sq. Ft.
SCALE	AS SHOWN
SPEC	MC2025 SPEC
SALES	YOLANDA

DRAFTER	SM	02/26/2027
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MILESTONES	PRELIM	02/28/2025
	PERMIT	MM/DD/YY
	FINAL	MM/DD/YY

JOB REVISIONS	INT	REV.#	DATE
		01 - WIP	Work in Progress

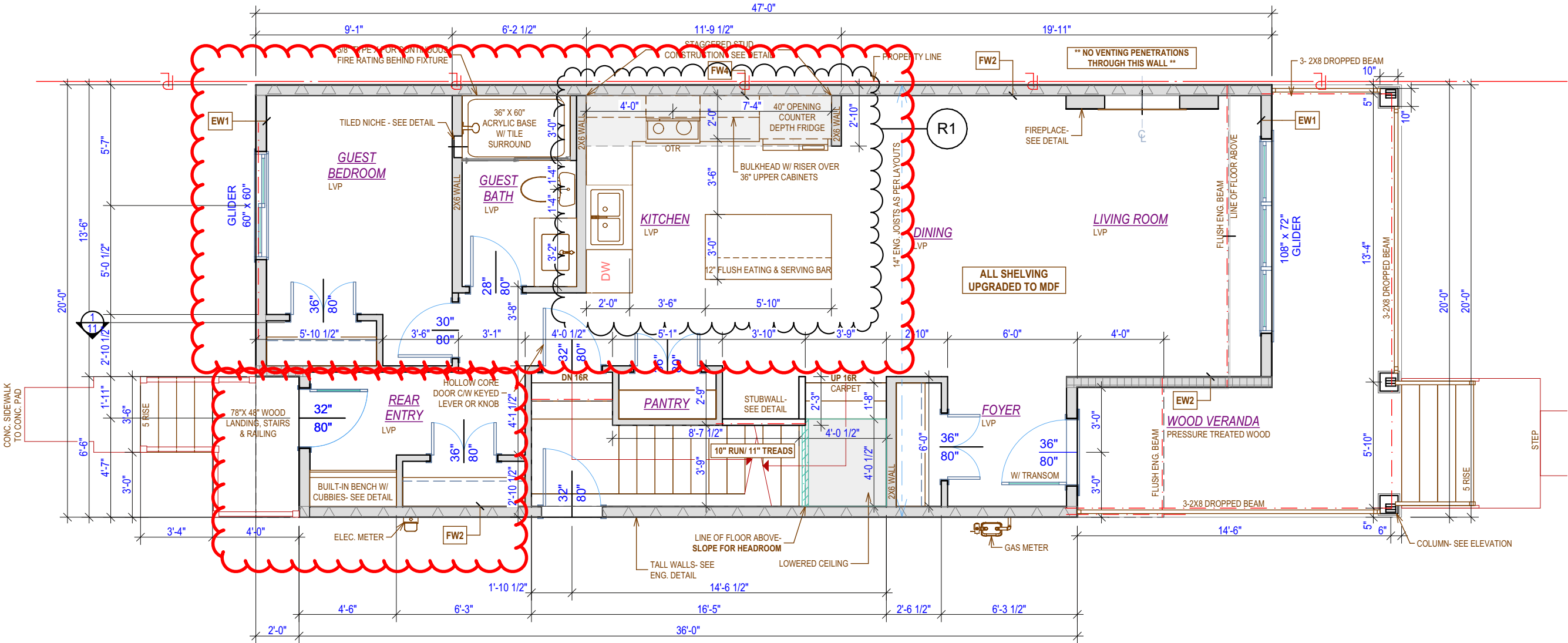
ADDRESS	SPEC
	5104 69 STREET
	ELAN

LOT	15
BLK	04
PLN	232-2241
PHS	02

JOB #	3-91-0204015
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CANTIRO HOMES RESERVES ALL RIGHTS
INCLUDING THAT OF REPRODUCTION OF THIS
PUBLISHED PLAN

SHEET NO.	5
	15



MAIN FLOOR AREA

A: 873 sq ft
H: 9'-1"

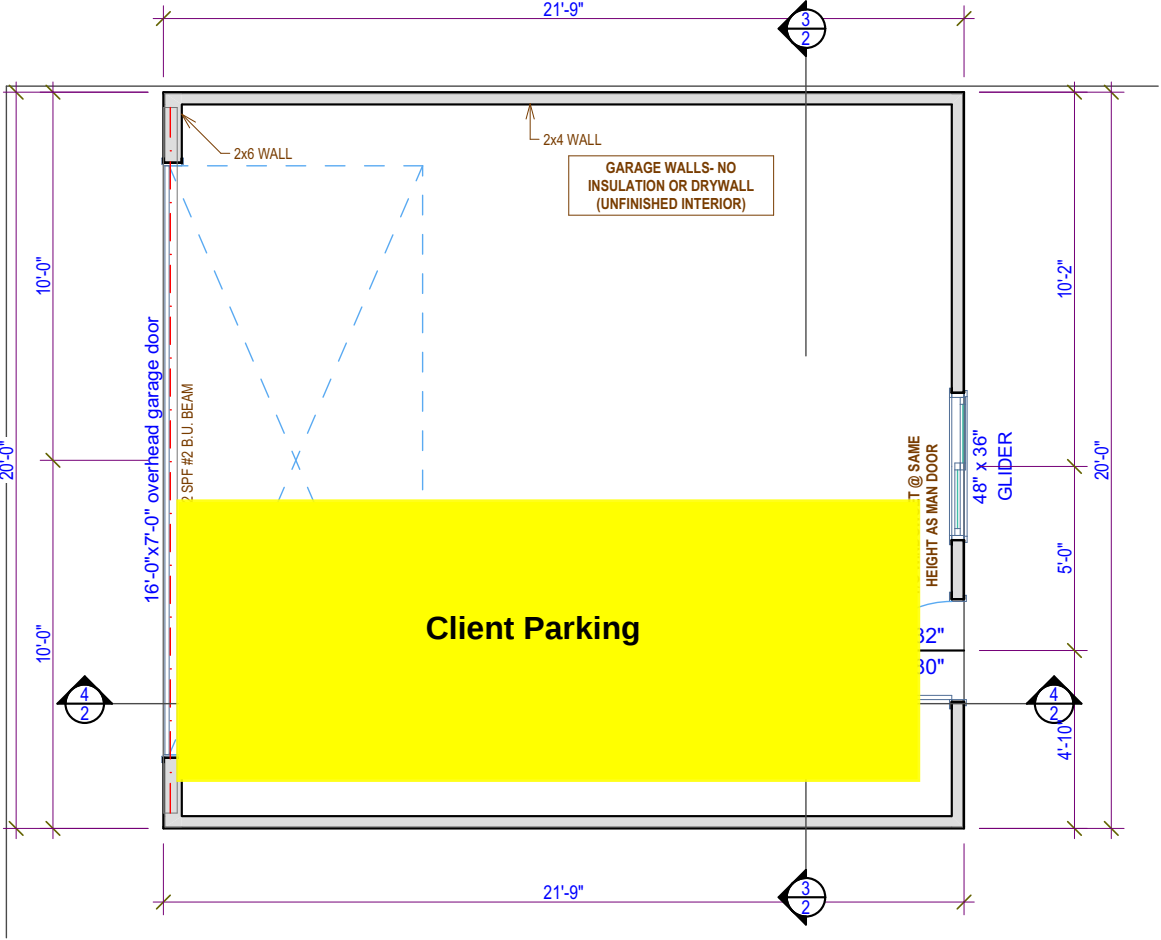
FRAMER'S NOTES:
-FRAME T/O WINDOW AT STANDARD WINDOW
HEIGHT (7'-0") UNLESS OTHERWISE NOTED
-PROVIDE BLOCKING BETWEEN STUDS FOR UPPER
AND LOWER CABINETS AS REQUIRED

FIRE RATED WALL LEGEND

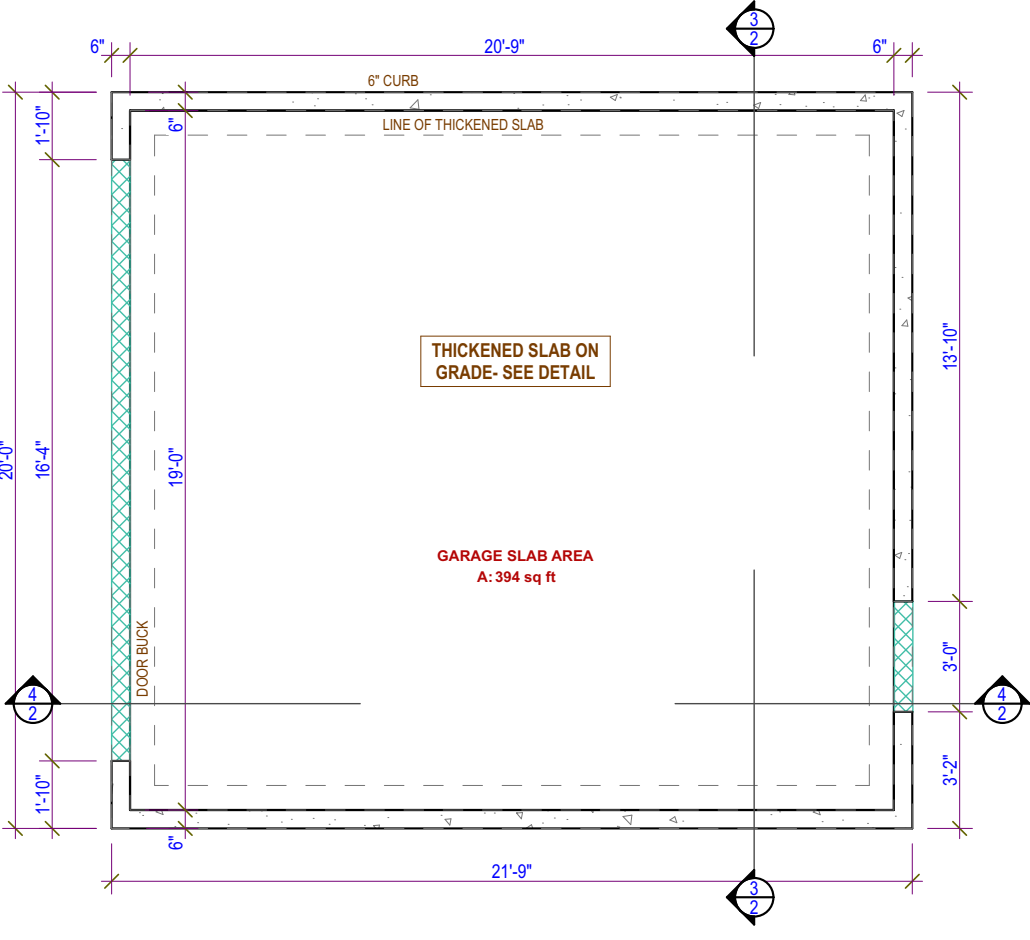
15 MIN. FIRE RATED WALLS
SHEATH THIS WALL WITH:
- 1/2 DENSGLASS OR FIRE RATED SHEETING
(RATED CAN/ULC S102)
- STUDS FRAMED @ 16" O.C.
- 1/2" STD DRYWALL ON INSIDE

45 MIN. FIRE RATED WALLS
SHEATH THIS WALL WITH:
- 1/2 DENSGLASS
- STUDS FRAMED @ 16" O.C.
- 5/8" TYPE X INT. DRYWALL TO TOP OF WALL

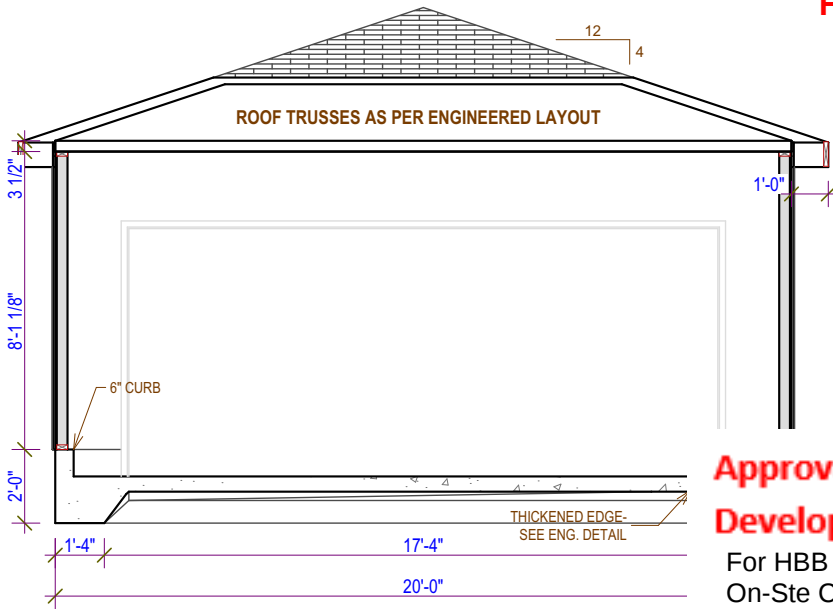
Initial
TAKS



1 MAIN FLOOR PLAN
Scale: 3/16" = 1'-0"



2 FOUNDATION PLAN
Scale: 3/16" = 1'-0"



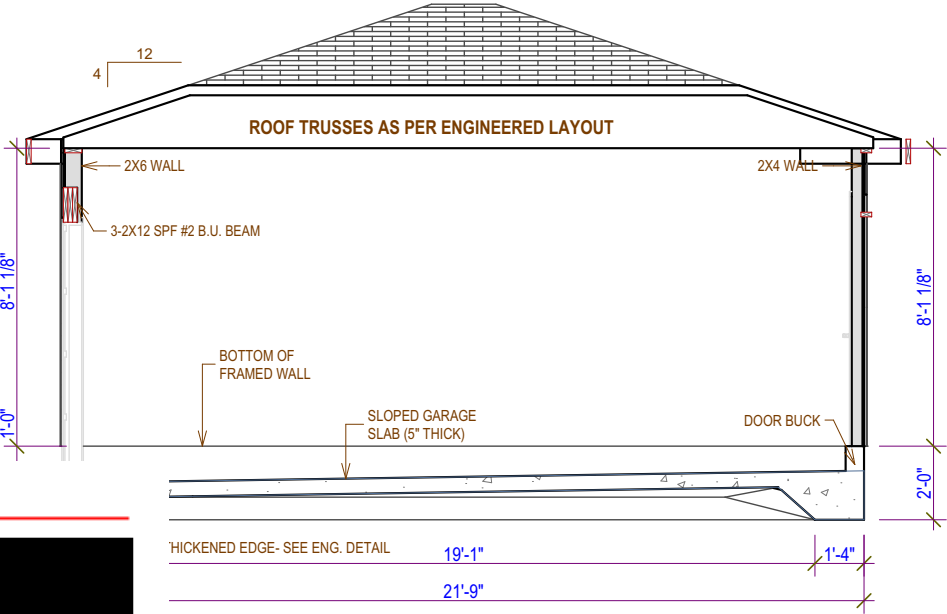
3 GARAGE SECTION
Scale: 3/16" = 1'-0"

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Home-Based Business Major

Golden Nest Day Home

Approved July 14, 2026
Development Officer
For HBB Major Req'd
On-Ste Client Parking Only



4 GARAGE SECTION
Scale: 3/16" = 1'-0"

Initial T Initial AK S

CANTIRO HOMES

17511-108 Ave
Edmonton, Alberta. T5S 1G2
T - (780) 406-6195

GARAGE- SLAB ON GRADE

GARAGE FLOOR PLAN & SECTIONS

AREA	XXXX Sq. Ft.
SCALE	AS SHOWN
SPEC	CH2023 SPEC
SALES	ETTA

DRAFTER	SM	08/01/2025
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MILESTONES	PRELIM	MM/DD/YY
	PERMIT	MM/DD/YY
	FINAL	MM/DD/YY

JOB REVISIONS	INT	REV.#	DATE

ADDRESS	SINGH 5104 69 STREET ELAN
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LOT	15
BLK	04
PLN	232-2241
PHS	02

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