

Development Permit Notice of Decision

Date of Decision: July 13, 2026

Attn: [REDACTED]
Family Forever Inc.
206, 10110 124 Street NW
Edmonton, AB T5N 1P6

Proposed Development: **Change of Use: From Single Family Dwelling to
Institutional – Human Services w/Variance
Supportive Living Accommodation**

Legal Description: Plan 222 2424, Block 2, Lot 74
Municipal Address: 4208 38 Street, Beaumont, AB
Land Use District: Conventional Neighbourhood
Permit Application No: 2026-010
Tax Roll: 010046

Development Permit Status: Approved with conditions

Development Permit Authorization

This Development Permit authorizes the Change of Use from Single Family Dwelling to Institutional – Human Services for the operation of a Supportive Living Accommodation, in accordance with the approved plans and the provisions of the *City of Beaumont Land Use Bylaw 944-19*.

The development noted above is considered a Discretionary Use within the Conventional Neighbourhood District and has been approved by the Development Authority, subject to the conditions listed below.

Unless otherwise provided for in this approval, all requirements of the City of Beaumont *Land Use Bylaw 944-19* shall be met.

This Development Permit also authorizes the following variance(s):

Variances

Variance 1: Minimum Bicycle Parking

Regulation: *Land Use Bylaw 944-19, Section 3.3.10(c)(ii)* requires that all non-residential buildings less than 4,600m² shall provide parking for at least 6 bicycles per building.

Variance: No bicycle parking stalls are to be provided on site. Section 3.3.10(c)(ii) is waived.

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Rationale for Variance 1

The change of use from a single detached dwelling to a supportive living accommodation does not change the primary residential nature or function of the building. As there will be no non-resident clients, nor the public, attending the site, the Development Authority has determined that bicycle parking is not required for this development. Should residents have bicycles they have access to the rear yard and garage for parking and storage.

Development Permit Conditions

Be sure to review all the documentation included with this permit.

1. **As this permit has been issued for a discretionary use, this permit shall not come into full force and effect until expiration of the required 21-day appeal period, pending no appeals. Refer to appeal information below.**
2. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time, a new development permit shall be required.
3. The Use, Institutional – Human Services, has been approved. Any previously approved Use for this location shall become null and void effective as of the date of decision noted above.
4. Development Permit approval includes the following scope of work only:
 - a. The combined use of the principal building and additional dwelling unit for supportive living accommodations for a maximum of four (4) youths;
 - b. 24-hour supervision shall be provided with a maximum of two (2) staff members on site per shift

Any changes to the scope of operations shall require a new Development Permit.

5. The principal building has a lot coverage area of 90.12m² and shall require two (2) parking stalls, approved as staff parking and as shown on the attached site plan.
6. Applicant shall schedule visitors and control traffic and visitor parking so as not to affect the amenities of the neighbourhood.
7. Applicant shall provide a solid waste storage area within the side or rear yard of the property for a minimum of two (2) waste streams. Waste collection services will **not** be provided by the City; **private waste collection services shall be arranged by the Applicant.**

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8. Given the continued residential nature of the proposed development, the Development Authority has determined that the Use will have minimal minor deliveries to the property and that a designated loading zone shall not be required.
9. The Applicant shall ensure compliance with the requirements of the City of Beaumont *Community Standards Bylaw 1024-22* including, but not limited to, *Part II – Public Behaviour*, *Part III – Property Maintenance & Nuisance*, and *Part IV – Noise Control*.
10. No signage shall be permitted for this development.

Additional Information

1. This application is **not** a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the [Alberta Safety Codes Act, RSA 2000, c S-1](#), the [National Building Code – Alberta Edition 2023](#), and all other applicable bylaws and/or regulations.
2. This Development Permit is issued under the City of Beaumont *Land Use Bylaw 944-19*. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, to any relevant federal or provincial statute or regulation, or to any easement, covenant, agreement, or contract affecting the subject lands.
3. Contact *Alberta One Call*, at 1-800-242-3447 to locate underground services prior to construction, if applicable.
4. A current and valid City of Beaumont [Commercial Business License](#) shall be required by the business Owner/Operator prior to the opening of the business.
5. This permit is subject to approval or exemption by *Leduc Public Health*. Failure to comply may result in cancellation of this development permit and the associated business license. Contact [Leduc Public Health](#) directly to schedule an inspection.
6. This permit will be circulated to [Beaumont Fire Services](#), who will determine if a fire inspection shall be required.
7. The Owner/Applicant shall ensure compliance with the [Alberta Supportive Living Accommodations Act](#).

Permit Notification Information

In accordance with the City of Beaumont *Land Use Bylaw 944-19*, notice regarding this Development Permit shall be posted on site. Signage requirements shall be determined through the City's Sign Coordinator.

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Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this permit may be published on the City of Beaumont website.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Patricia Lauzé
Development Officer



Appeal Information

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) or the Land and Property Rights Tribunal if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

Notice of Decision:	July 13, 2026
Appeal deadline:	August 3, 2026
Permit active (if no appeals filed):	August 4, 2026

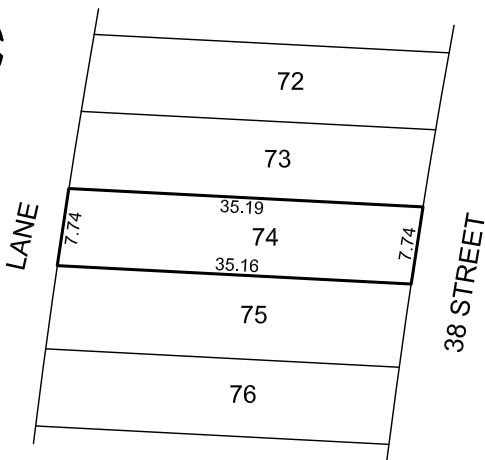
Please be advised that an appeal may be submitted in accordance with Section 685 of the Municipal Government Act with the Subdivision and Development Appeal Board within 21 days of the written decision.

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To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at legislative@beaumont.ab.ca. Appeals must be filed no later than 4:30 p.m. on the date indicated above. Please visit our website for more details at www.beaumont.ab.ca.



LOT 74, BLOCK 2, PLAN 222 2424
ADDRESS: 4204 38 Street
Triomphe Stage 8
BEAUMONT, ALBERTA

Permit No. 2026-010

Change of Use

**Supportive Living
Accommodation**

PLAN DETAIL: NTS

Approved July 13, 2026

Development Officer

For Supportive Living
Accommodation Use &
Location Only

BACKFLOW PREVENTION DEVICES
MUST BE INSTALLED BY LOT
OWNERS ON ALL SANITARY AND
STORM SERVICES.

FRONT SETBACK SUBJECT TO
THE DISCRETION OF THE CITY
OF BEAUMONT

**Structures and hard surfacing/sidewalks
within the easement shall maintain a min.
0.75m setback to property line**

Lot Area: 270.82 Sq.M
House Area: 90.12 Sq. M
Parking Pad Area: 40.56 Sq. M
Total Site Coverage: 48.3% ✓

Driveway Area: +/- 15.92 Sq. M

ZONING - CN ✓

PREPARED FOR: AV Homes LTD O/A

MODEL: (Standard)

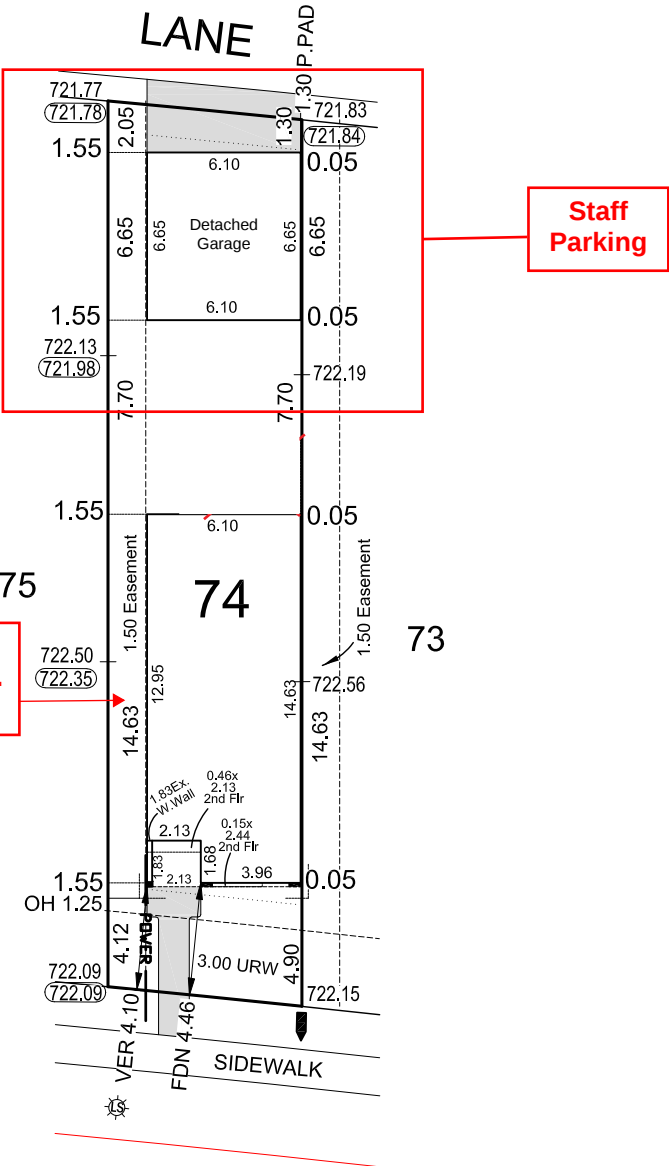
Built By Luxe

JOB#

BUILDING GRADES	
HOUSE TYPE	2 Storey
FINISHED FLOOR	723.27
HOUSE BOTTOM FOOTING	720.02
GARAGE BOTTOM FOOTING	N/A
FINISHED GRADE FRONT	722.60
FINISHED GRADE BACK	722.60
BOTTOM BSM'T WINDOW SILL	Well as Required
TOP CONC. BSM'T WALL	722.97
GARAGE PAD @ OH DOOR	722.00
SANITARY SEWER INVERT	719.10 @ PL

NOTES:

DIMENSIONS SHOWN ARE IN METERS AND DECIMALS THEREOF.
BUILDER/OWNER RESPONSIBLE TO ENSURE BACK FILL LEVEL MEETS ALL CODES.
ALL DIMENSIONS AND SERVICES SHOWN MUST BE CONFIRMED BY CONTRACTOR
PRIOR TO EXCAVATION.
BUILDER / OWNER IS LIABLE FOR ANY COSTS INCURRED DUE TO AN ERROR IN THE
ABOVE PLAN IF CONSTRUCTION STARTS PRIOR TO THIS PLAN BEING APPROVED
BY THE LOCAL APPROVING AUTHORITY.



38 STREET

IBI IBI GROUP GEOMATICS (CANADA) INC.
300 – 10120 103 Avenue NW
Edmonton AB T5J 3R6 Canada
tel 780 428 4000
ibigroup.com



IBI JOB# 134504

PLOT PLAN

DRAWN BY:ola

DATE: Mar. 30, 2023

SCALE:1:300

LEGEND	
HYDRANT	POWER SERVICE
C.C. LOCATION	UTILITY RIGHT OF WAY URW
STREET LIGHT	TRANSFORMER
SERVICE PEDESTAL	POWER VAULT
STREET SIGN	SWALE GRADE ELEV. (722.86)
ADDRESS SIGN	DESIGN GRADE ELEV. 722.86

Rev.No.	Date	Drawn by
x	xxxx-xx-xx	XXX
x	xxxx-xx-xx	XXX
x	xxxx-xx-xx	XXX

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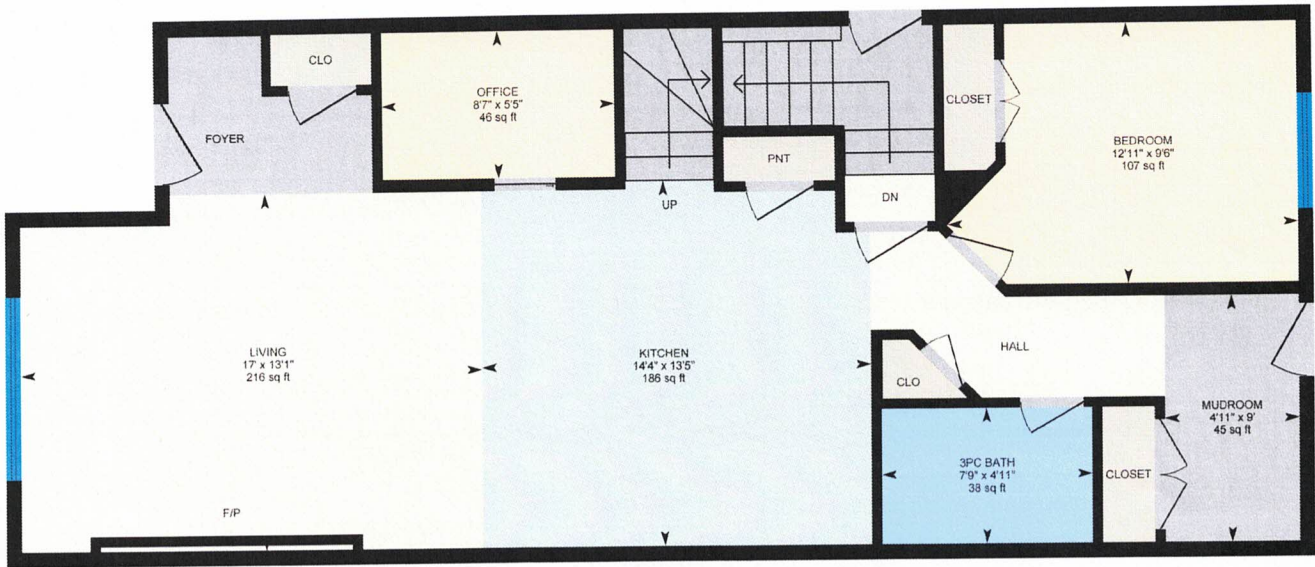
Approved July 13, 2026

Development Officer

For Supportive Living
Accommodation Use &
Location Only

4204 38 St, Beaumont, AB

Main Floor Exterior Area 927.52 sq ft
Interior Area 852.87 sq ft



PREPARED: 2025/07/10



White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.

iGUIDE

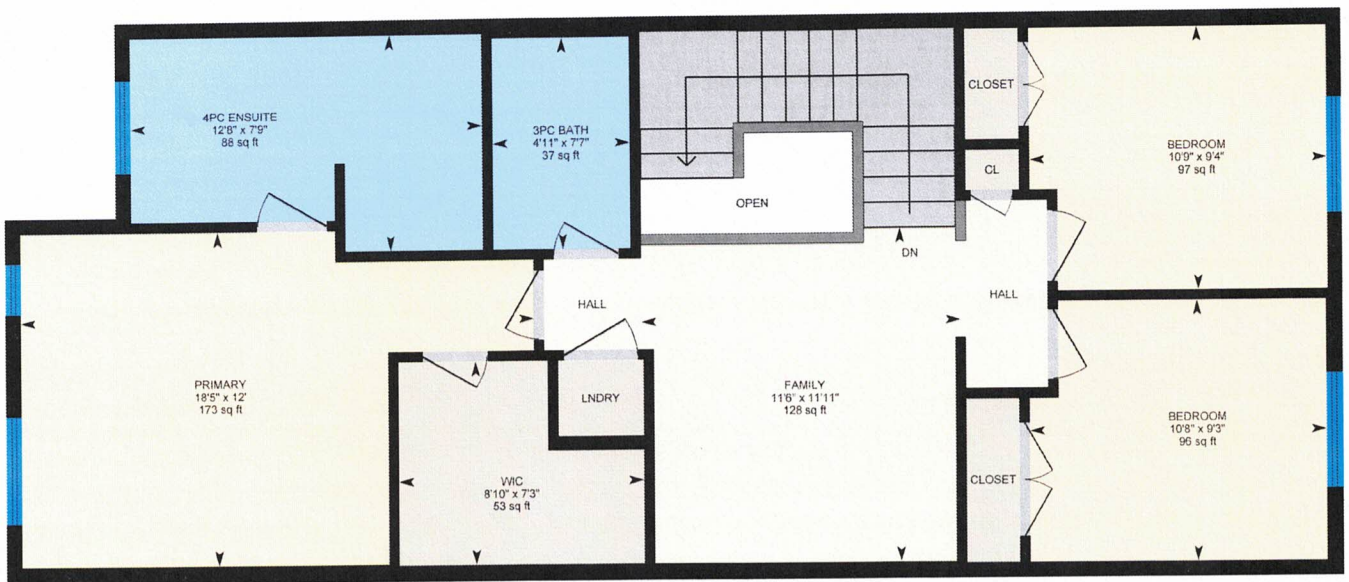
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Development Officer

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4204 38 St, Beaumont, AB

1st Floor Exterior Area 918.41 sq ft
Interior Area 843.41 sq ft
Excluded Area 21.37 sq ft



PREPARED: 2025/07/10



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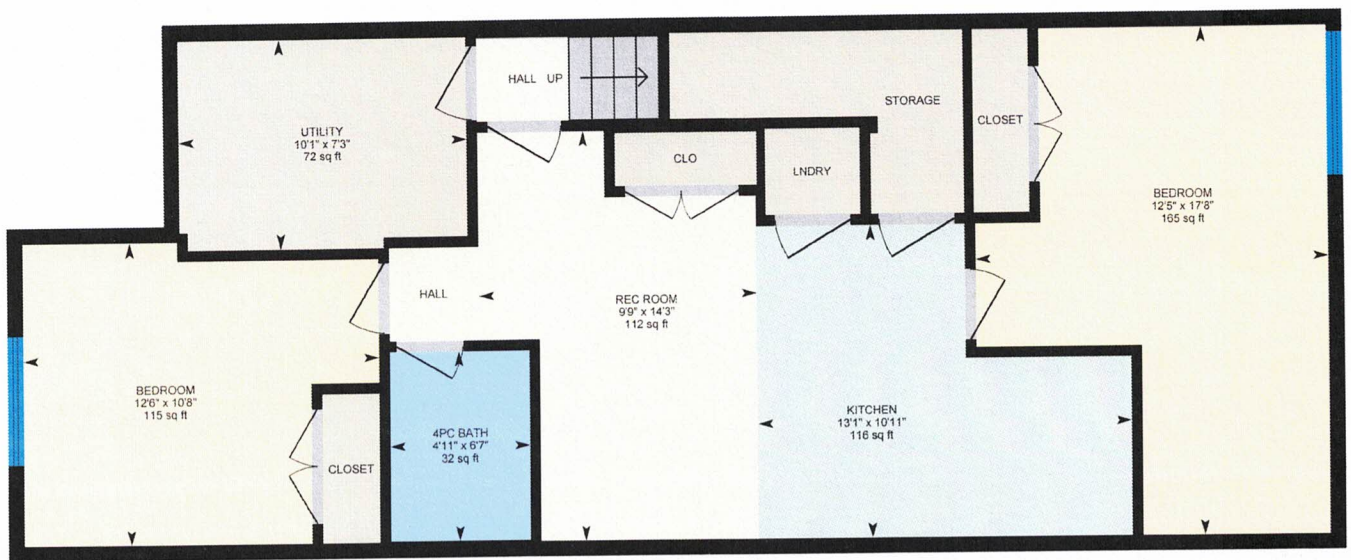
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Development Officer

For Supportive Living
Accommodation Use &
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4204 38 St, Beaumont, AB

Basement (Below Grade) Exterior Area 841.23 sq ft
Interior Area 769.21 sq ft



0 4 8 ft

PREPARED: 2025/07/10



White regions are excluded from total floor area in iGUIDE floor plans. All room dimensions and floor areas must be considered approximate and are subject to independent verification.

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Development Officer [REDACTED]

For Rear Yard Waste Bin Storage Only
Private Collection Required

