



**Subdivision Authority Decision
May 14, 2026**

1. On May 14, 2026, the Subdivision Authority reviewed the following Subdivision, and on May 14, 2026 rendered a decision:

a. SDA-26-01 Azur School Site

The Subdivision Authority approved the plan of subdivision to create two municipal reserve lots from Lot 2MR, Block 9, Plan 252 0674.

- The subdivision create two new lots for future school developments from a larger existing municipal reserve lot.

- *Attachments: Notice of Decision, Conditions of Approval Map, Advisements, Subdivision Plan*

Per Section 678 of the Municipal Government Act, the following groups may appeal a subdivision:

- The Applicant
- A Government of Alberta Department
- School Boards

Contact Matthew Gratton, Senior Planner at planning@beaumont.ab.ca or 780-340-0964 for more information.

Notice of Decision

Date: May 14, 2026

Pals Geomatics Corp
10704 176 St
Edmonton

File Name: SDA-26-01 Azur School Site
Legal Description: Plan 2520674, Block 9, Lot 2MR
Proposed Subdivision: To create two Municipal Reserve lots

Pursuant to Section 654 of the MGA, the above-described Subdivision was **APPROVED** on May 14, 2026, subject to the following conditions:

1. That the subdivision be effected by plan of survey.
2. That prior to endorsement, the subdivision plan shall be revised to shift the eastern boundary of the proposed Lot 4MR Block 8 westward by 6.0 metres along its full length, to accommodate the trail connection identified in the Azur Area Structure Plan, as shown in the "Conditions of Approval" map, to the satisfaction of the Subdivision Authority.
3. That all existing easements, caveats, and restrictive covenants registered to the subject property be carried over and registered on the newly created lots.

The Subdivision Authority, at their discretion, has increased the maximum lot width from 15 m to 179.1 for Lot 4MR, Block 8, and 232.4 m for Lot 5MR, Block 9, in alignment with the Land Use Bylaw 944-19, Section 3.4.4.c.

This approval is valid for one year expiring on May 14, 2027. Pursuant to the Land Use Bylaw 944-19, any extensions of the Subdivision approval may be authorized by the Subdivision Authority.

Attachment 1 is a map of the subdivision and the location of specific condition requirements.

With regard to the conditions of approval, they are to be met and satisfied prior to the submission of the final plan of subdivision, which is to be prepared by an Alberta Land Surveyor.

Once all conditions of approval have been complied with, the final plan of subdivision and endorsement plans/documents can be submitted. Please see our website for endorsement submission requirements at <https://www.beaumont.ab.ca/wp-content/uploads/2024/05/Endorsement-Application-Package.pdf?x28734>.

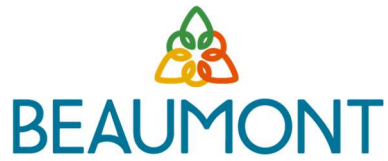
An endorsement fee will be required to be paid upon submission of the final plan. Endorsement fees are subject to change. If the fee schedule is amended before you submit the final plan of subdivision for endorsement, the new fees will apply.

Appeal Information

Please be advised that an appeal may be submitted in accordance with Section 678 of the Municipal Government Act with the Land and Property Rights Tribunal of the Province of Alberta within 14 days of the written decision. Please visit the Government of Alberta website for more details at <https://www.alberta.ca/subdivision-appeals.aspx>

If you have any further questions, please contact Matthew Gratton at planning@beaumont.ab.ca or 780-340-0964.


Kendra Raymond, RPP, MCIP
Subdivision Authority



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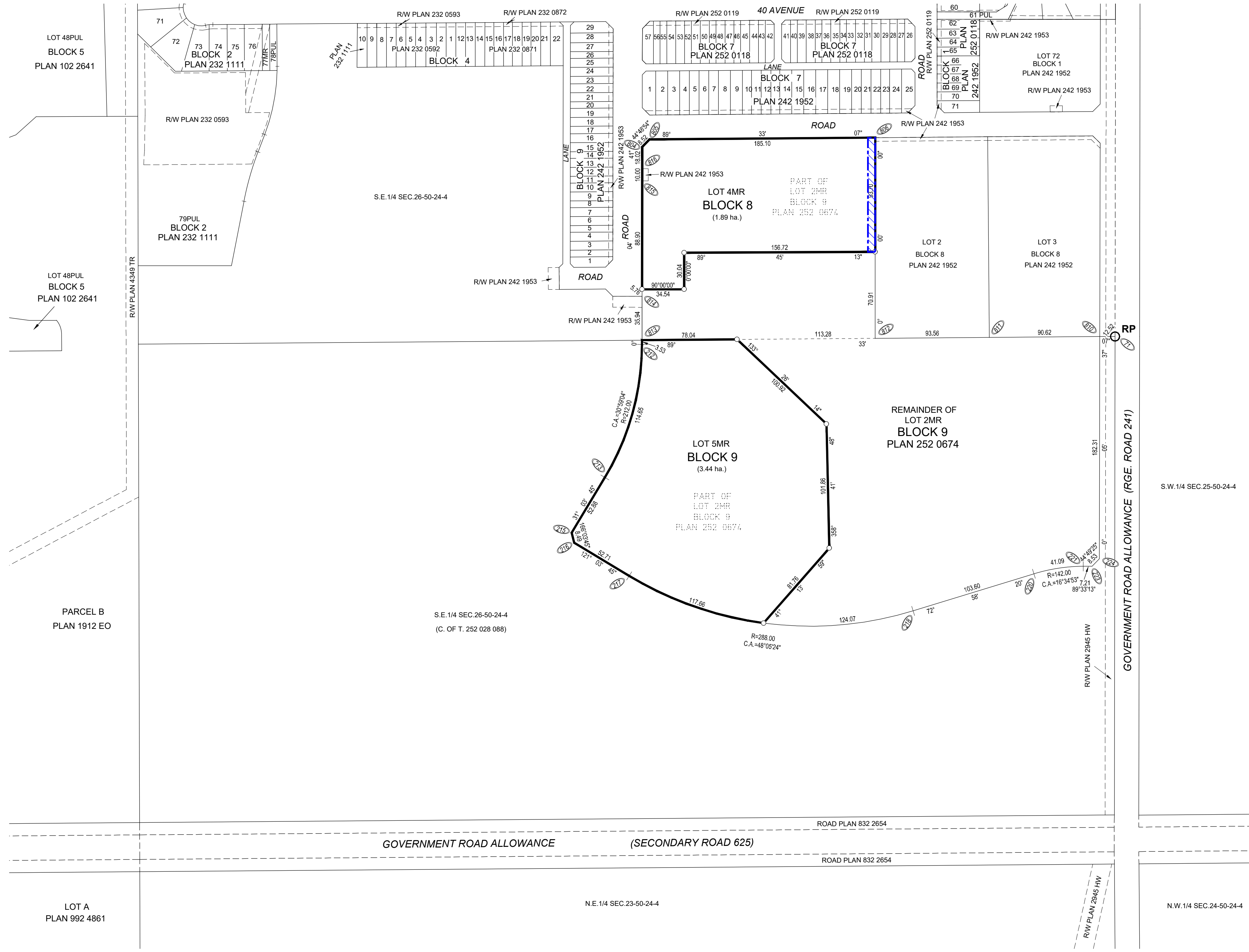
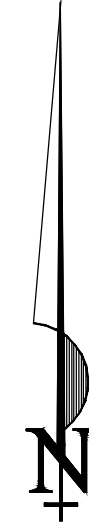
Notice of Decision

Date of Decision: May 14, 2026

Subdivision File: SDA-26-01

Encl:
Conditions of Approval Map
Application for Subdivision
Subdivision Plan Conditionally Approved by the Subdivision Authority

**ATTACHMENT 1
CONDITIONS OF APPROVAL MAP**



LAND TITLES OFFICE
 PLAN No. _____
 ENTERED AND REGISTERED
 ON _____
 INSTRUMENT No. _____

 A.D. REGISTRAR
 N.A.L.R.D.

SURVEYOR:
 NAME: BEN DE JONG, A.L.S.
 DATES OF SURVEY: JULY 23, 2024
 TO: 2026
 IN ACCORDANCE WITH THE
 PROVISIONS OF THE SURVEYS ACT

SUBDIVISION AUTHORITY
 NAME: CITY OF BEAUMONT
 FILE NO. ***

REGISTERED OWNERS
 CITY OF BEAUMONT

NOTES:

- POSITIONS ESTABLISHED AS PER REGISTERED SUBDIVISION PLANS 242 1952 AND 242 2440 SHOWN THUS
- GEO-REFERENCE POINT (RP) SHOWN THUS
- COMBINED SCALE FACTOR IS 0.999809.
- REFERENCE MERIDIAN IS 114°.
- GEO-REFERENCE POINT (RP) 3TM NAD83(ORIG.) COORDINATES:
 NORTHING 5912212.516, EASTING 40551.917.
- BEARINGS ARE NAD83, 3TM GRID AND ARE DERIVED FROM G.N.S.S. OBSERVATIONS.
- ALL DISTANCES ARE SHOWN IN METRES AND DECIMALS THEREOF.
- ALL DISTANCES ON CURVED BOUNDARIES ARE ARC LENGTHS.
- AREA AFFECTED BY THE REGISTRATION OF THIS PLAN BOUNDED THUS
 AND CONTAINS: 5.33 ha.

LEGEND

Subdivision boundary

adjustment area

ABBREVIATIONS DENOTED THUS:

A.S.C.M. - ALBERTA SURVEY CONTROL MARKER	ha - HECTARE	N. - NORTH	RGE - RANGE
C.A. - CENTRAL ANGLE	M. - MOUND	PUL - PUBLIC UTILITY LOT	RHW - RIGHT OF WAY
C.S. - COUNTERSUNK	Mp. - MARKER POST	(R) - RADIAL	S. - SOUTH
E. - EAST	MER. - MERIDIAN	R - RADIUS	SEC. - SECTION
Fd. - FOUND	Mk. - MARK	Re-est. - RE-ESTABLISHED	TWP. - TOWNSHIP
G.N.S.S. - GLOBAL NAVIGATION SATELLITE SYSTEM	Mkd - MARKED	Ref. - REFERENCE	W. - WEST
	MR - MUNICIPAL RESERVE	Res. - RESTORED	

AZUR
 PLAN SHOWING SURVEY OF
SUBDIVISION
 OF
 LOT 2MR, BLOCK 9, PLAN 252 0674
 WITHIN THE
 S.E. 1/4 SEC. 26-TWP. 50-RGE. 24-W. 4th MER.
BEAUMONT - ALBERTA
 BEN DE JONG, A.L.S. 2026
 SCALE: 1:2000

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FILE NO. 126000200S
 DRAFTED BY: JF
 CHECKED BY: JB

