

Development Permit Notice of Decision

Date of Decision: January 15, 2026

Attn: Dhwani Rana
Pride Signs Ltd.
255 Pinebush Road
Cambridge, ON
N1T 1B9

Proposed Development: **Commercial Signage: Electronic Menu Signs (2)**
Upgrade of existing signs - *Tim Horton's*
Legal Description: Plan 082 4084, Block 1, Lot 6
Municipal Address: 6001 29 Avenue, Beaumont, AB
Land Use District: Commercial
Permit Application No: 2026-001
Tax Roll: 007153

Development Permit Status: Approved with conditions

Development Permit Conditions

The development noted above is considered a Discretionary Use within the Commercial (C) District and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont *Land Use Bylaw 944-19* shall be met. **Be sure to review all the documentation included with this permit.**

1. **As this permit has been issued for a discretionary use, this permit shall not come into full force and effect until expiration of the required 21-day appeal period, pending no appeals. Refer to appeal information below.**
2. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time, a new development permit shall be required.
3. Location/Use of the two (2) Electronic Signs (1.93m x 0.66m and 1.93m x 1.97m) is approved as per the attached site plan.
4. Signs shall not have a display or message change more frequently than once every six (6) seconds with a transition period of one (1) second or less.

Additional Information

1. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the *National Building Code – Alberta Edition 2023*, and any other applicable bylaws or regulations.

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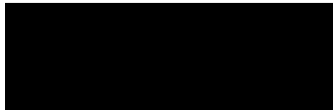
Permit Number: 2026-001

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2. This Development Permit is issued under the City of Beaumont *Land Use Bylaw 944-19*. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, to any relevant federal or provincial statute or regulation, or to any easement, covenant, agreement, or contract affecting the subject lands.
 3. Contact *Alberta One Call*, at 1-800-242-3447 to locate underground services prior to construction, if applicable.

Permit Notification Information

In accordance with the City of Beaumont *Land Use Bylaw 944-19*, notice regarding this Development shall be posted on site. Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit will be published on the City of Beaumont website.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Patricia Lauzé
Development Officer
780-929-8782
patricia.lauze@beaumont.ab.ca

Appeal Information

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) or the Land and Property Rights Tribunal if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

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An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

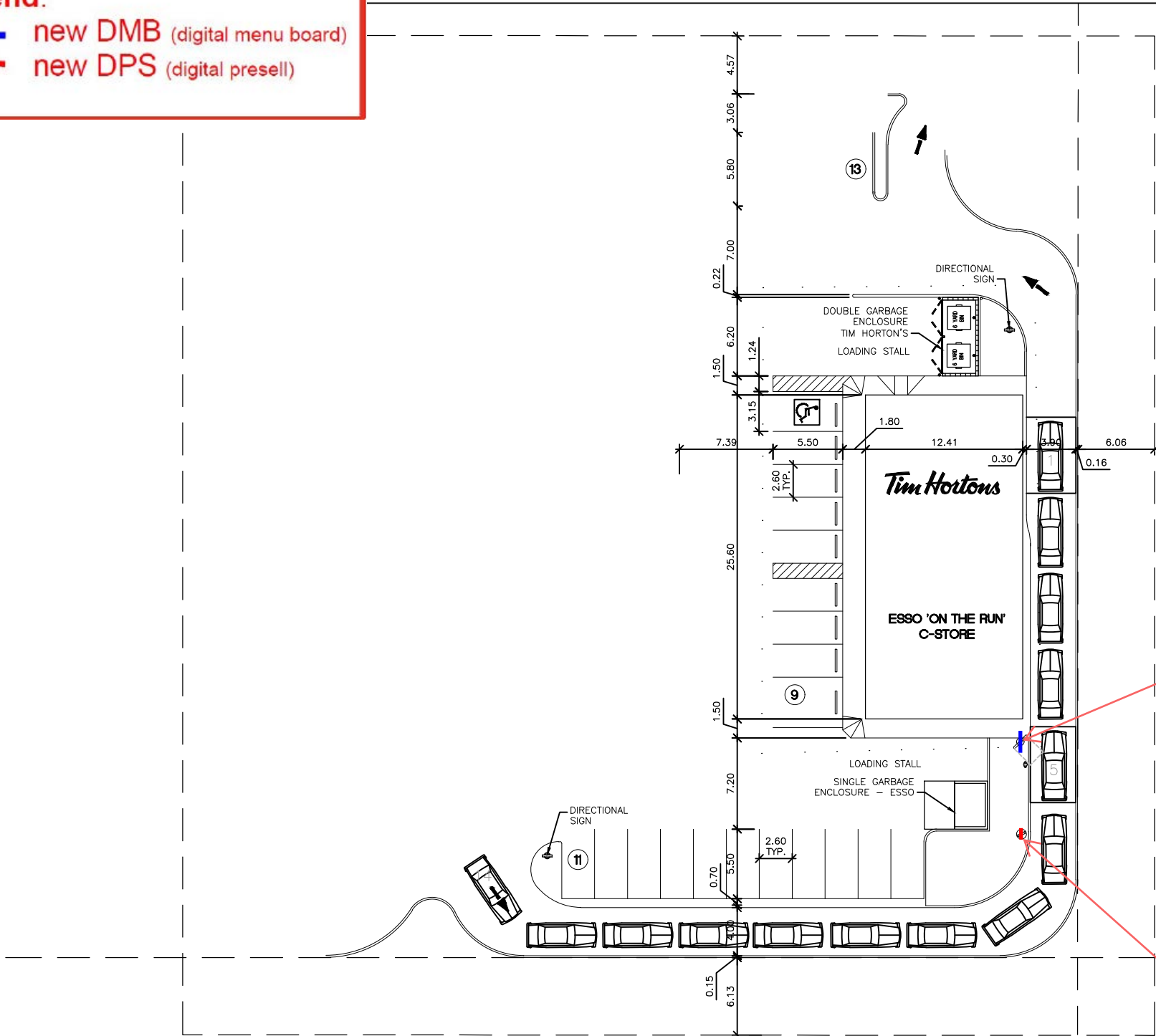
As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

Notice of Decision:	January 15, 2026
Appeal deadline:	February 5, 2026
Permit active (if no appeals filed):	February 6, 2026

To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at legislative@beaumont.ab.ca. Please visit our website for more details at www.beaumont.ab.ca.

Legend:

- new DMB (digital menu board)
- new DPS (digital presell)



Permit No. 2026-001



Remove and Scrap existing DMB.


Sign 2 - Install new hardwired ODMB on existing base.

Remove and Scrap existing DPS.

Sign 1 - Install new hardwired ODPS on existing base.

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Development Officer
For Electronic Sign Use/Location Only





OPERATED BY THE TDL GROUP CORP.
7460 - 51 STREET S.E.
CALGARY, ALBERTA T2C 4B4
TEL (403) 203-7400 FAX (403) 203-7460

THESE DRAWINGS SHOULD BE CHECKED FOR COMPLIANCE WITH LOCAL, PROVINCIAL, AND NATIONAL BUILDING CODES.

THESE DRAWINGS SHOULD NOT BE SCALED.

THIS DRAWING SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION BY AN ENGINEER.

DETAILS OF DEVELOPMENT			
DATA		REQUIRED	PROVIDED
SETBACKS	ZONING	NOT AVAILABLE	
	FY	n/a	0.0m
	RY	n/a	0.0m
	INT.SY	n/a	0.0m
	EXT.SY	n/a	0.0m
	NET LOT AREA (m ² / R ² / Ac.)	3282.2 m ² / 35,330 R ² / 0.811 Ac.	
BUILDING COVERAGE		0.0%	0.0%
BUILDING HEIGHT		--	5.05± m
GROSS FLOOR AREA		261.33m ²	
No. of UNITS		1	
DT STACKING		n/a	14
LOADING SPACES		n/a	1
PARKING:	Total Spaces	n/a	42
	Handicap Spaces	n/a	2
	Stall Length	5.50m MIN.	5.50m
	Stall Width	2.60m MIN.	2.60m
	Aisle Width	7.00m MIN.	SEE PLAN
OTHER:			

8

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2

1

No. | REVISIONS | DATE

PROJECT



BEAUMONT, ALBERTA
HIGHWAY 625 &
60th STREET

DRAWING TITLE

SITE SKETCH

DRAWN BY: LCS

DATE: FEB 23/07

SCALE: 1:200

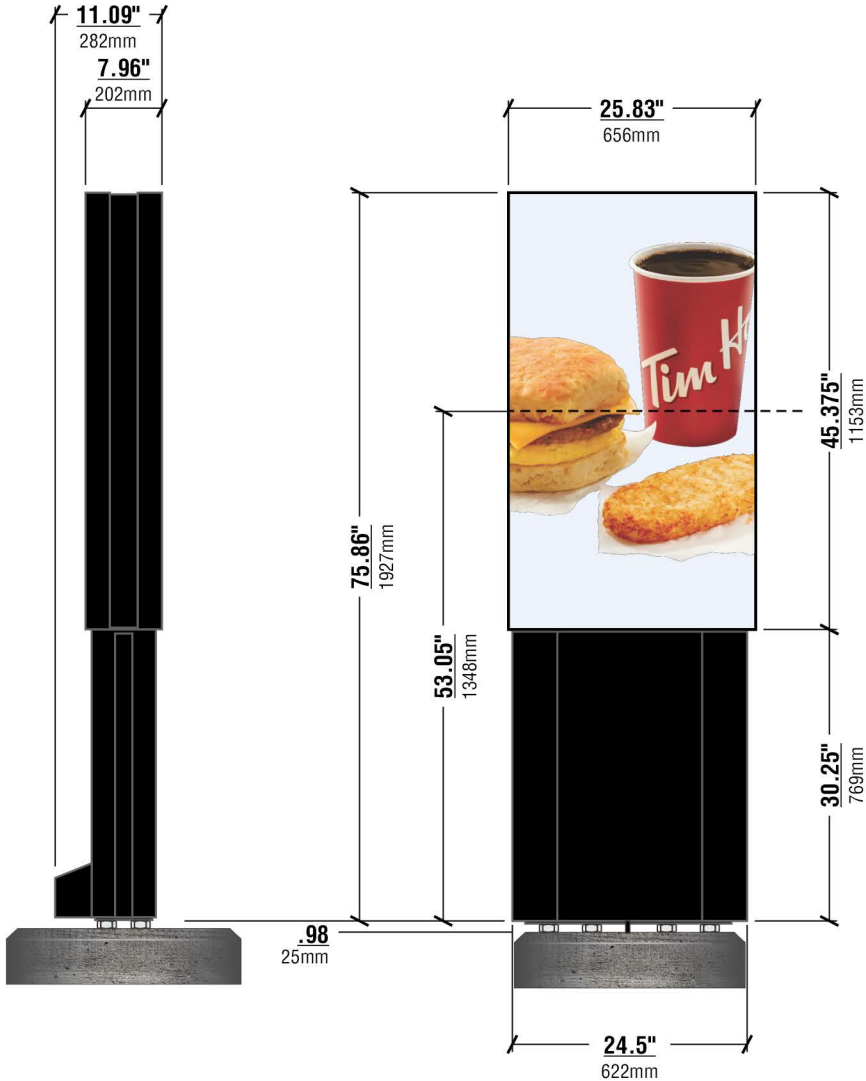
DRAWING NO.

SK-1

Electrical Requirements

120v 277v 347v

Sign #1
Sign Area
0.756m2



NOTES

MATERIAL SPECIFICATIONS

1. INTERNAL FRAME MATERIALS: 11 GA GALVANNEAL CS, POWDER COATED PANTONE PMS 425 (MATTE GREY)
2. BASEPLATE MATERIAL: 3/8" HSLA 44W, GALVANIZED AND POWDER COATED RAL9005 (MATTE BLACK)
3. EXTERNAL COVERS: 11 GA ALUMINUM, POWDER COATED RAL9005 (MATTE BLACK)
4. SECURITY: TAMPER RESISTANT RECESSED SECURITY MACHINE THREADED FASTENERS ON ALL EXTERIOR PANELS.
5. DIGITAL DISPLAY EQUIPMENT: LG OUTDOOR DISPLAY MODEL 49XE4F

POWER & DATA REQUIREMENTS

1. POWER SUPPLY: BRANCH CIRCUIT 120V SINGLE PHASE 60HZ 20A
2. DATA FEED: CAT6 CABLES WITH RG45 TERMINATION, 1 PER DISPLAY, 1 PER MEDIA PLAYER (IF PRESENT), AND REDUNDANT CABLES AS DESIRED.

TOTAL CABINET AREA = 0.756m2

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Development Officer
For Electronic Sign
Use/Location Only

Preliminary Artwork
Approved for Production
October 29, 2025 T. Dodge



PRIDE SIGNS

THIS ARTWORK IS THE PROPERTY OF PRIDE SIGNS LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM PRIDE SIGNS LTD. © 2019
255 PINEBUSH ROAD CAMBRIDGE ONTARIO CANADA TEL: 519.622.4040 FAX: 519.622.4031 WWW.PRIDESIGNS.COM



DRAWN BY: T. Dodge
DATE: August 26, 2024

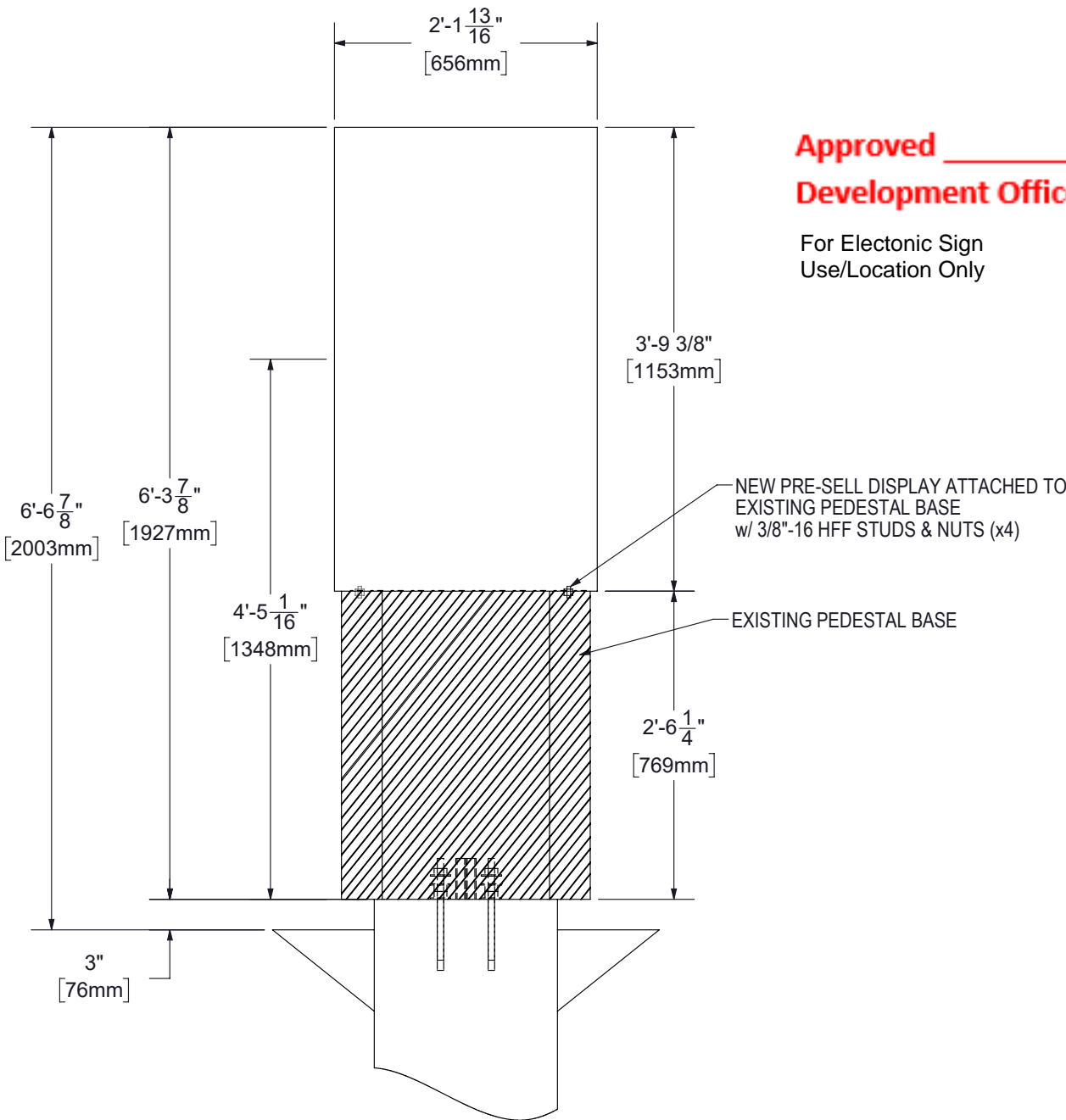
Graphic rendition is representative of specific signage. Colour / dimensional / material details should be verified using reference drawing specifications. Pride Signs Ltd. is not responsible for inherent variations caused by display and/or print variations.

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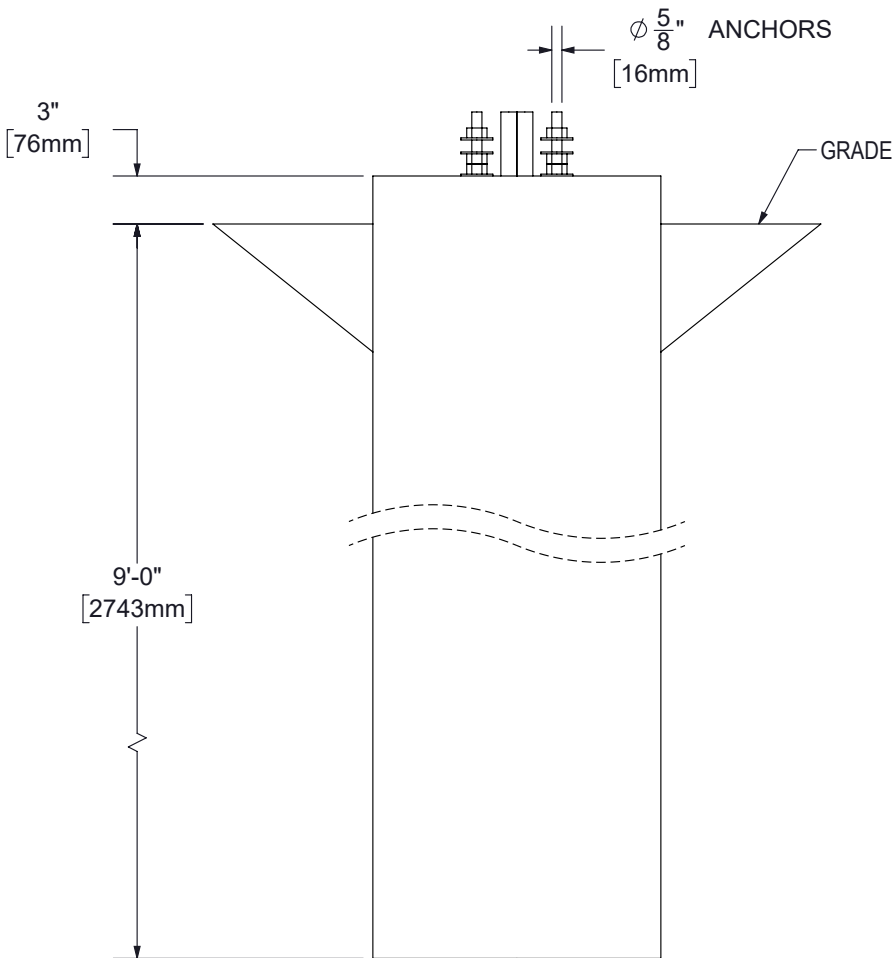
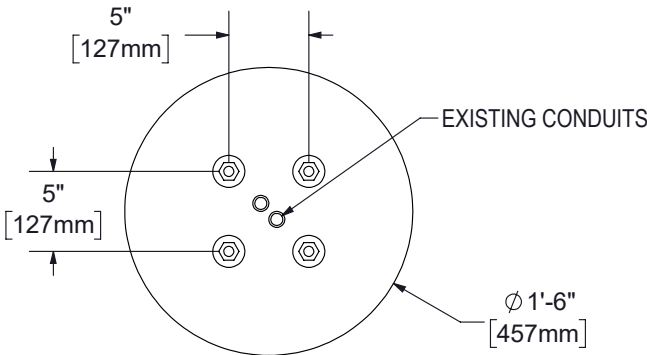
EXISTING PRE-SELL DISPLAY= 12.36 SF
NEW PRE-SELL DISPLAY = 13.96 SF

DESIGN NOTES:
LOADS AS PER ABC - 2023 FOR
Beaumont, AB AREA:

WIND $q(1/50) = 0.45 \text{ kPa}$
SNOW $S_s = 1.7 \text{ kPa}$
 $S_r = 0.1 \text{ kPa}$



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EXISTING CONCRETE
CAISSON / ANCHOR BOLTS

Scale: $3/4" = 1'-0"$

120v 277v 347v

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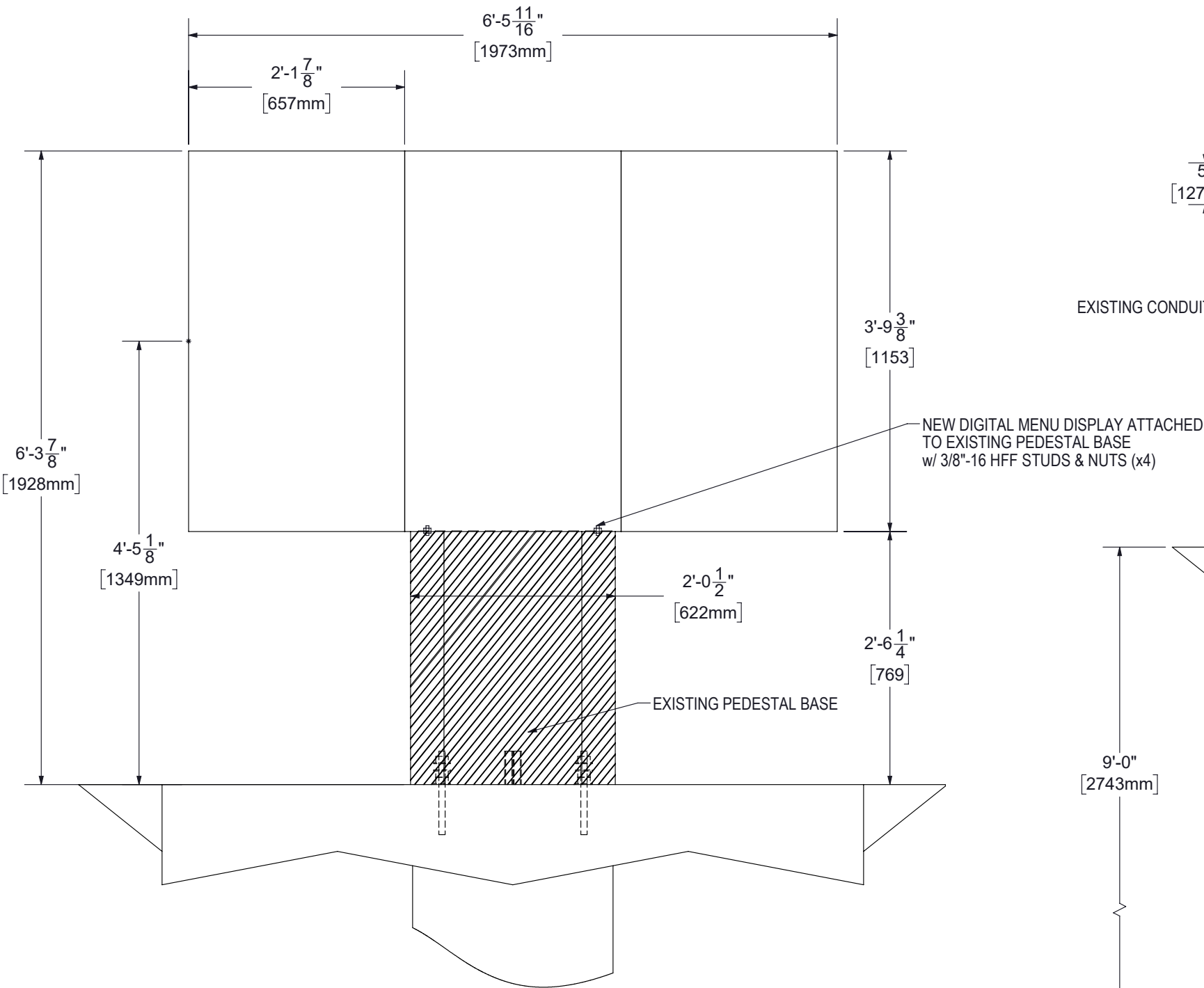
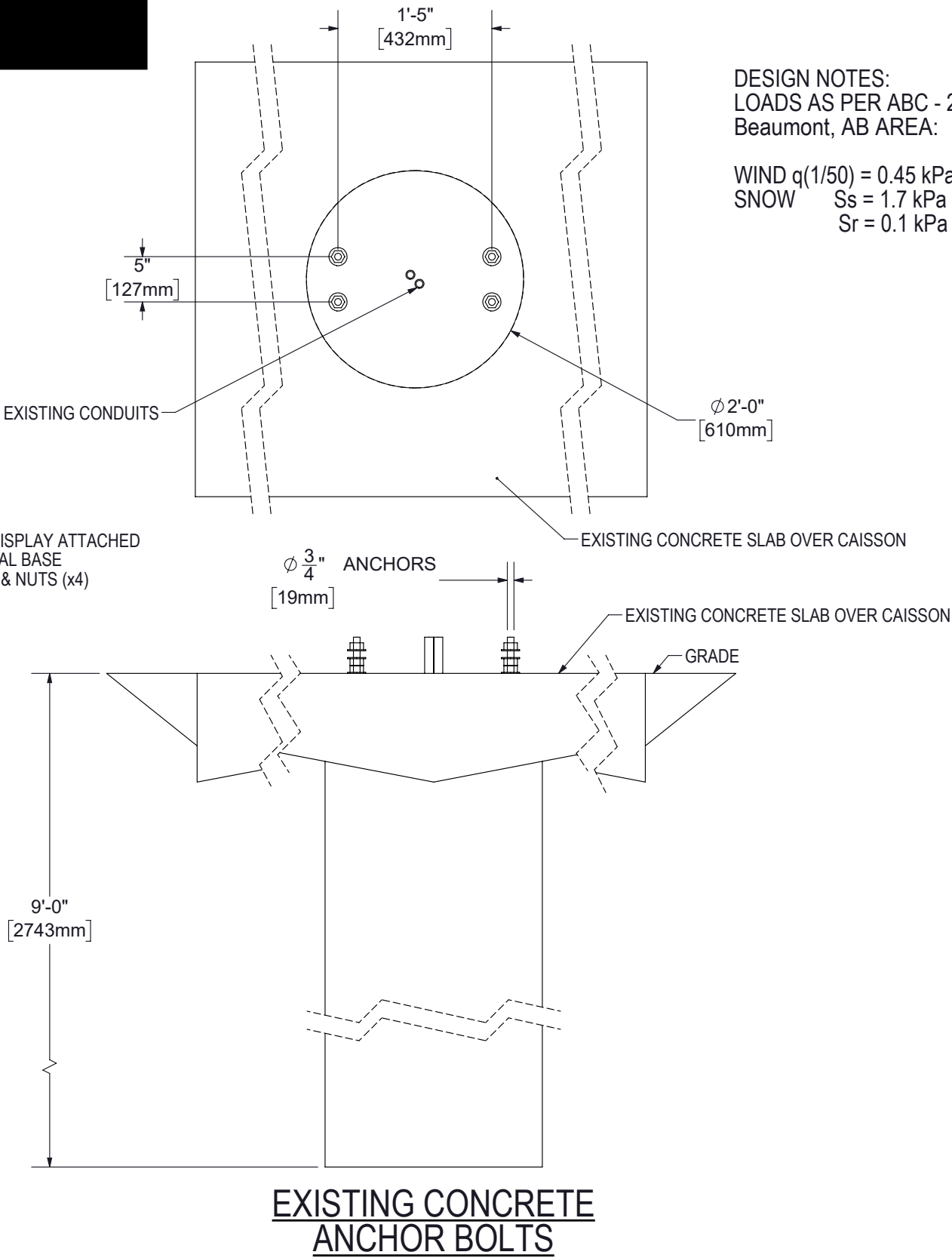
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EXISTING MENU BOARD = 26.72 SF
NEW MENU BOARD = 29.72 SF

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EXISTING CONCRETE
ANCHOR BOLTS