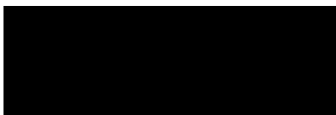


Development Permit Notice of Decision

Date of Decision: November 18, 2025



Proposed Development: Home Based Business Major: Day Home
Elan Licensed Day Home

Legal Description: Plan 232 2241, Block 3, Lot 29
Municipal Address: 5101 71 Street, Beaumont, AB
Land Use District: Integrated Neighbourhood
Permit Application No: D-2025-86
Tax Roll: 010465

Development Permit Status: Approved with conditions

Development Permit Conditions

The development noted above is considered a Discretionary Use within the Integrated Neighbourhood (IN) District and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

1. **As this permit has been issued for a discretionary use, this permit shall not come into full force and effect until expiration of the required 21-day appeal period, pending no appeals. Refer to appeal information below.**
2. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time period, a new development permit shall be required.
3. Location of the business operations is approved as shown on the attached site plan.
4. A minimum of one (1) on-site parking stall shall be provided for Client parking, as approved on attached parking plan.
5. One (1) non-illuminated sign, no greater than 0.60m x 0.90m in area, shall be permitted.
6. Outdoor activities shall not cause a nuisance for adjacent properties.
7. No more than two (2) employees shall be in attendance on-site at any one time.
8. If the address of the business changes, this permit shall become void and a new permit shall be required to continue operations at a new location.

Development Permit Notice of Decision

Date of Decision: November 18, 2025

Permit Number: D-2025-86

9. Vehicle parking and on/off loading of people shall be controlled by the Applicant/Owner so as not to interfere with the amenities of the neighbourhood. The driveway shall be kept clear of snow to allow for parking.
10. Client appointments shall be staggered to avoid conflicts between arriving and departing clients/vehicles.
11. Hours of operation shall be restricted to 6:30 a.m. - 5:30 p.m., Monday to Friday.
12. A current and valid City of Beaumont [Business License](#) shall be required each year of operation, or this permit shall become void.
13. The Owner shall ensure that the amenities of the neighbourhood are not negatively affected due to excess noise, traffic, smell, or other conditions which may affect the quality of life of those in the neighbouring areas, as interpreted by the Development Authority.

Additional Information

1. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the *National Building Code – Alberta Edition 2023*, and any other applicable bylaws or regulations.
2. This Development Permit is issued under the City of Beaumont *Land Use Bylaw 944-19*. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, to any relevant federal or provincial statute or regulation, or to any easement, covenant, agreement, or contract affecting the subject lands.
3. Contact *Alberta One Call*, at 1-800-242-3447 to locate underground services prior to construction, if applicable.
4. This permit will be circulated to [Beaumont Fire Services](#), who will determine if a fire inspection shall be required.
5. This permit is subject to approval or exemption by Leduc Public Health. Failure to comply may result in cancellation of this development permit and the associated business license. Contact [Leduc Public Health](#) directly to schedule an inspection.

Permit Notification Information

In accordance with the City of Beaumont *Land Use Bylaw 944-19*, notice regarding this Development Permit shall be posted on the property.

Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

Development Permit Notice of Decision

Date of Decision: November 18, 2025

Permit Number: D-2025-86

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Patricia Lauzé
Development Officer



Appeal Information

Any Development Permit may be appealed to the *Subdivision and Development Appeal Board* (SDAB) or the *Land and Property Rights Tribunal* if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

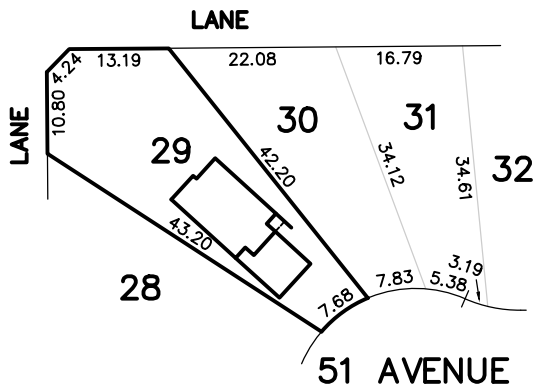
An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

Notice of Decision:	November 18, 2025
Appeal deadline:	December 9, 2025
Permit active (if no appeals filed):	December 10, 2025

To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at legislative@beaumont.ab.ca. Appeals must be filed no later than 4:30 p.m. on the date indicated above. Please visit our website for more details at www.beaumont.ab.ca.



Permit No. D-2025-86

Home-Based Business Major
Parking Plan

One (1) on-site Client parking stall is required

Approved
Development Officer

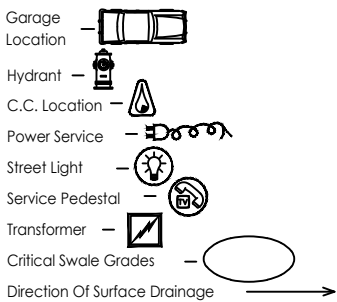
November 18, 2025

For HBB Major On-Site
Client Parking Only

GEOTECHNICAL EVALUATION
IS REQUIRED PRIOR TO
FOUNDATION CONSTRUCTION

BASEMENT LOCATION MUST BE EXACT.
CONTACT STANTEC GEOMATICS TO
PINPOINT WALL LOCATION ON FOOTINGS
SURVEY.EDMONTON@STANTEC.COM

DRAINAGE TYPE – STANDARD SPLIT



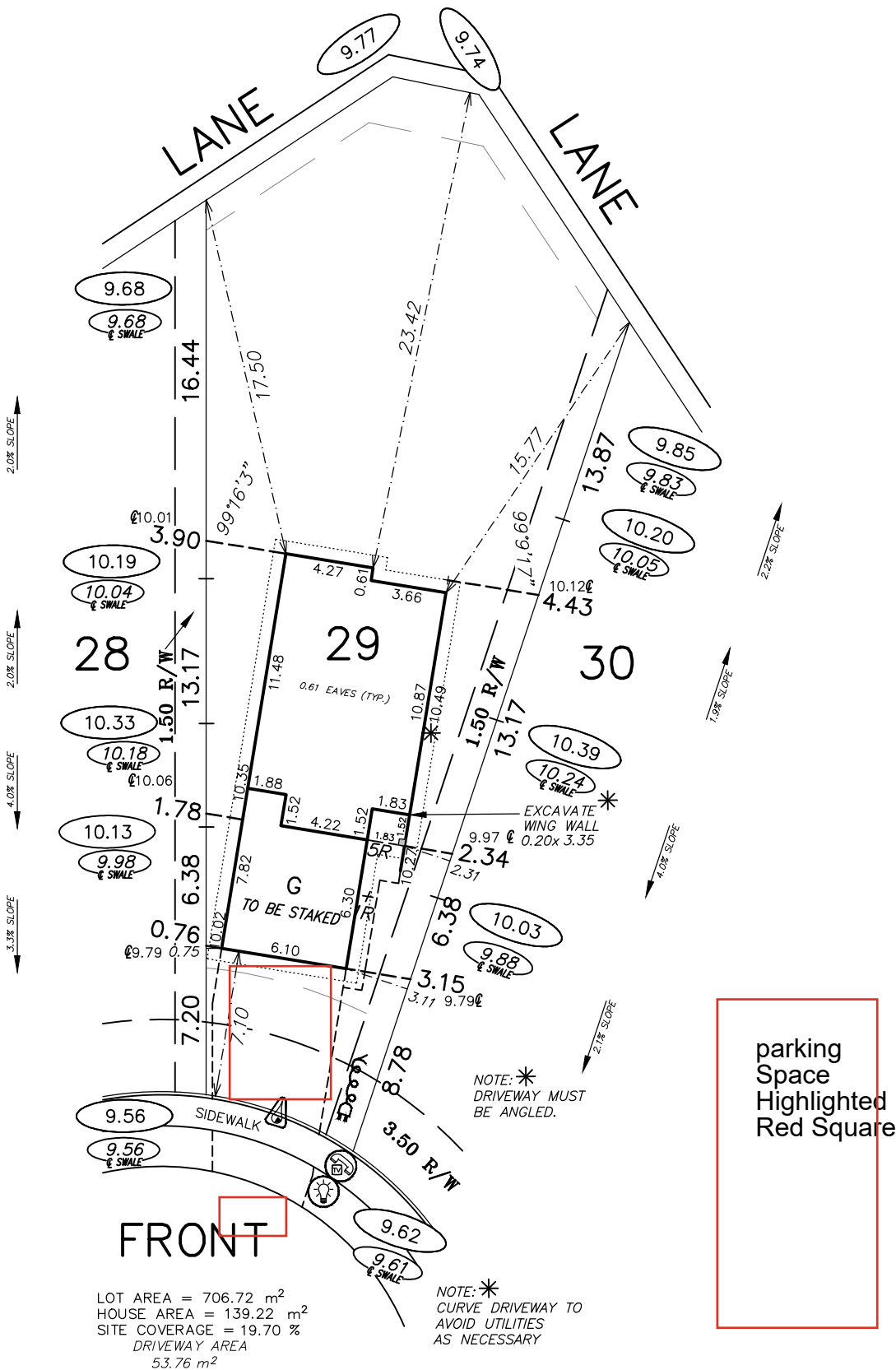
House Type 2 STOREY
Finished Floor 11.49
Bottom Footing H = 8.43 G = 8.75
Finished Grade Front 10.42 5 RISE + DOWN 6"
Finished Grade Back Left = 10.31 Right = 10.40
Bottom Side Door Sill 10.54 * 5 RISE INSIDE
Bottom Bsm't Window WELLS AS REQ'D
Top Conc. Bsm't Wall 11.12
Finished Garage Floor 10.12 1 RISE IN WALK
Sanitary Sewer Invert 6.84
JOIST 0.37 CONC.WALL 2.54 FOOTING 0.15

HAWTHORNE (GARAGE ON LEFT)

SCALE 1 : 300



IN



parking
Space
Highlighted
Red Square

Foundation Wall Height: 8' 4"

Rain Water Leaders: Required

*It is the responsibility of the builder to contact the soils consultant to determine if there are any special considerations pertaining to house foundation construction.
*The elevation of this house has been designed so that it will be in conformance with the lot grading plan.
*This plan is subject to the approval of the local approving authority and the agent responsible for the architectural control guidelines.
*Stantec Geomatics will accept no responsibility for any costs incurred due to an error or omission on this plan if construction starts prior to the subject approvals.
*All dimensions and services shown must be confirmed by contractor prior to excavation.
*All distances shown are in metres and decimals thereof.
*This Plot Plan is the property of Stantec Geomatics. It is forbidden to use this Plot Plan for survey layout of the building location and/or elevation without prior written consent from Stantec Geomatics.



Stantec Geomatics Ltd.
300-10220 103 Avenue NW
Edmonton, Alberta, Canada
Tel. 780-917-7000
www.stantec.com

Legal Description
LOT 29 BLOCK 3 PLAN 232 2241
ELAN
Municipal Address
5101 71 STREET
BEAUMONT
Builder
HOMES BY AVI
Title
Plot Plan
Your File: E4000
DH 10/31/23 PP

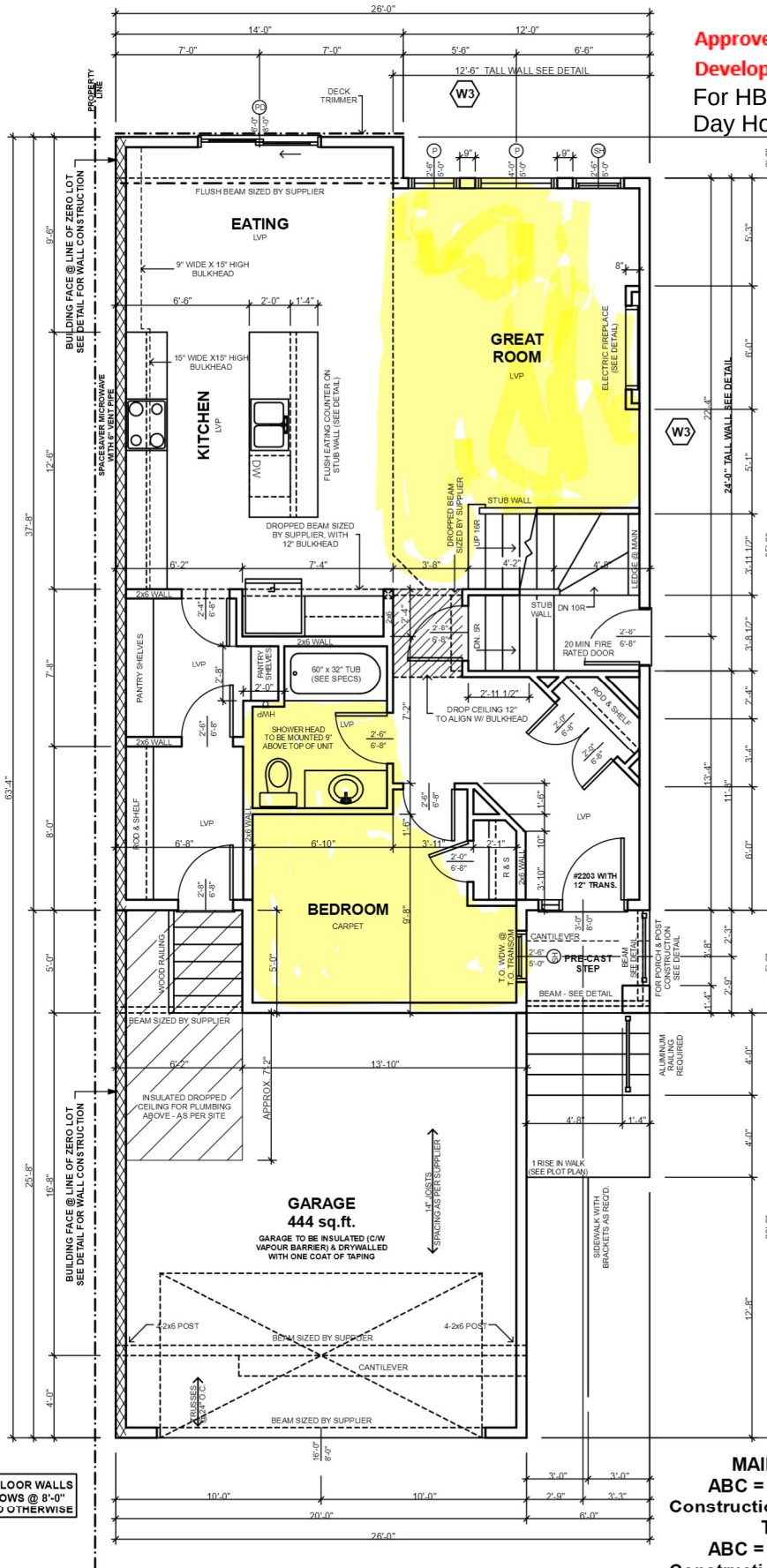
Permit No. D-2025-86

Approved November 18, 2025

Development Officer

For HBB Major
Day Home Use/Location Only

DS
JT
DS
DK



9'-1 1/8" MAIN FLOOR WALLS
TOP OF WINDOWS @ 8'-0"
UNLESS NOTED OTHERWISE

MAIN FLOOR
ABC = 1025 Sq. Ft.
Construction = 1025 Sq. Ft.
TOTAL
ABC = 2209 Sq. Ft.
Construction = 2139 Sq. Ft.



THESE DRAWINGS AND DESIGN ARE AT ALL TIMES
TO REMAIN THE EXCLUSIVE PROPERTY OF
HOMES BY AVI AND MAY NOT BE REPRODUCED
OR USED WITHOUT PRIOR WRITTEN CONSENT.
WRITTEN DISCREPANCIES SHALL HAVE PRECEDENCE
OVER SCALED DIMENSIONS. IT IS THE RESPONSIBILITY
OF THE CONTRACTOR TO NOTIFY THE DESIGNER
IN THE EVENT OF DISCREPANCIES. THE CONTRACTOR
SHALL CONTACT THE DESIGNER IN ALL MATTERS.

JOB # E4000
Hawthorne 26-A32(L2)
Scale: 3/16" = 1'-0"
Design: JH IDT: KM

Homes by AVI
PROJECT ADDRESS:
5101 71 Street - Elan, Beaumont
Lot 29 Block 3 Plan 232 2241

RELEASE DATES
Plan Check: Nov.6, 2023
Permit:
Construction:

REVISION DATES
Rev #3:
Rev #2:
Rev #1:

4
26