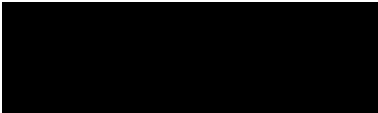


Development Permit Notice of Decision

Date of Decision: November 4, 2025



Proposed Development: Home Based Business Major: Personal Services
Within Body Work Inc.

Legal Description: Plan 082 1045, Block 4, Lot 12
Municipal Address: 3202 64 Street, Beaumont, AB
Land Use District: Conventional Neighbourhood
Permit Application No: D-2025-84
Tax Roll: 007076

Development Permit Status: Approved with conditions

Development Permit Conditions

The development noted above is considered a Discretionary Use within the Conventional Neighbourhood District and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

- 1. As this permit has been issued for a discretionary use, this permit shall not come into full force and effect until the appeal period has expired. See appeal information below.**
2. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
3. Location of the business operations is approved as shown on the attached site plan.
4. A minimum of one (1) on-site parking stall shall be provided for Client parking, as approved on attached parking plan.
5. A maximum of ten (10) clients per day shall be permitted.
6. One (1) non-illuminated sign, no greater than 0.60m x 0.90m in area, shall be permitted.
7. No more than two (2) employees shall be in attendance on-site at any one time.
8. If the address of the business changes, this permit shall become void and a new permit shall be required to continue operations at a new location.

Development Permit Notice of Decision

Date of Decision: November 4, 2025

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9. Vehicle parking and on/off loading of people shall be controlled by the Applicant/Owner so as not to interfere with the amenities of the neighbourhood. The driveway shall be kept clear of snow to allow for parking.
10. Client appointments shall be staggered to avoid conflicts between arriving and departing clients/vehicles.
11. Hours of operation shall be restricted to Monday - Sunday 11:00 a.m. to 9:00 p.m..
12. A current and valid City of Beaumont Business License shall be required each year of operation, or this permit shall become void.
13. The Owner shall ensure that the amenities of the neighbourhood are not negatively affected due to excess noise, traffic, smell, or other conditions which may affect the quality of life of those in the neighbouring areas, as interpreted by the Development Authority.
14. Daytime deliveries of inventory shall be limited to 1 delivery per 4 months and shall not interfere with the movement or parking of vehicles for adjacent residents

Additional Information

1. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the *National Building Code – Alberta Edition 2023*, and any other applicable bylaws or regulations.
2. This Development Permit is issued under the City of Beaumont *Land Use Bylaw 944-19*. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
3. Contact *Alberta One Call* at 1-800-242-3447 to locate underground services prior to construction, if applicable.
4. Electrical, plumbing, and gas permits, as required, shall be the responsibility of the Owner/Applicant. Please, contact regarding permits and inspections for these disciplines.
5. This permit will be circulated to *Beaumont Fire Services*, who will determine if a fire inspection shall be required.
6. This permit is subject to approval or exemption by *Leduc Public Health*. Failure to comply may result in cancellation of this development permit and the associated business license. Contact Leduc Public Health directly at 780-980-4678 to schedule an inspection.

Permit Notification Information

In accordance with the City of Beaumont Land Use Bylaw 944-19, notices regarding this Development Permit have been mailed to owners of adjacent and nearby properties, as these individuals have the right to appeal

Development Permit Notice of Decision

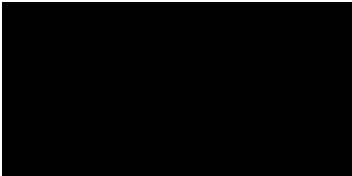
Date of Decision: November 4, 2025

Permit Number: D-2025-84

this permit, as explained above. The same Development Permit Notice mailed to these individuals has been attached for your information.

Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Emily Jensen
Development Officer
587-338-5935
emily.jensen@beaumont.ab.ca

Appeal Information

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) or the Land and Property Rights Tribunal if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

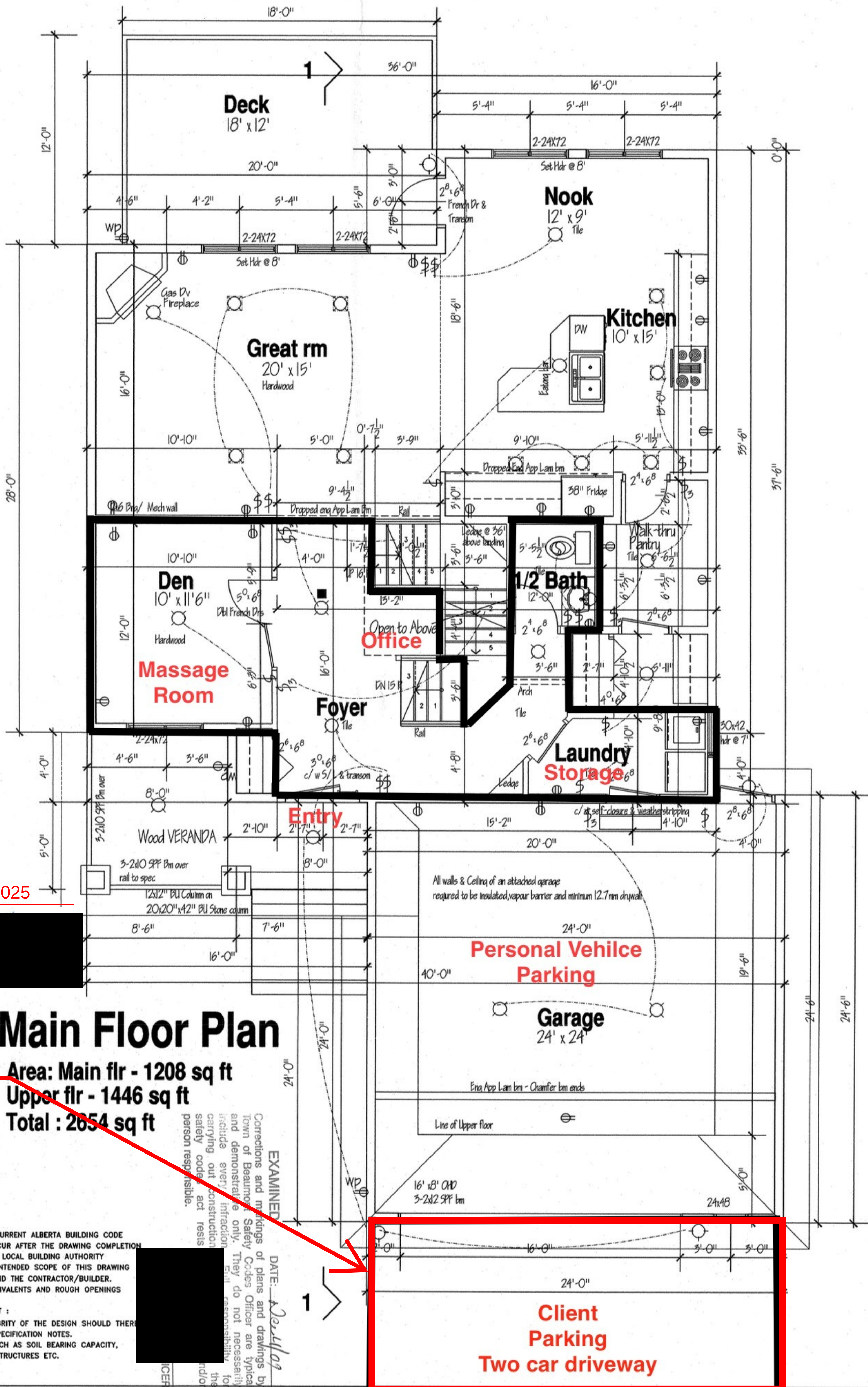
An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit, or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

Notice of Decision:	November 4, 2025
Appeal deadline:	November 25, 2025
Permit active (if no appeals filed):	November 26, 2025

To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at legislative@beaumont.ab.ca. Appeals must be filed no later than 4:30 p.m. on the date indicated above. Please visit our website for more details at www.beaumont.ab.ca



Approved November 4, 2025
Development Officer

For HBB Major
Location/Use Only

Main Floor Plan

Designated Parking for
Clients

Area: Main flr - 1208 sq ft
Upper flr - 1446 sq ft
Total : 2654 sq ft

-THIS PLAN IS DRAWN IN ACCORDANCE WITH THE CURRENT ALBERTA BUILDING CODE BUT IS SUBJECT TO ALL CODE CHANGES WHICH OCCUR AFTER THE DRAWING COMPLETION
-THIS PLAN IS SUBJECT TO THE APPROVAL OF THE LOCAL BUILDING AUTHORITY
-FINISHES, CABINET TYPE ETC. ARE BEYOND THE INTENDED SCOPE OF THIS DRAWING AND ARE TO BE RESOLVED BETWEEN THE OWNER AND THE CONTRACTOR/BUILDER.
-WINDOW SIZES AND TYPES ARE DESIGN ONLY, EQUIVALENTS AND ROUGH OPENINGS WILL BE THE CONTRACTORS RESPONSIBILITY
IMAGE DESIGN & DRAFTING BY TRACY LTD. WILL NOT :
-ASSUME ANY LIABILITY FOR THE STRUCTURAL INTEGRITY OF THE DESIGN SHOULD THERE VARIANCES FROM THE STRUCTURAL DRAWINGS OR SPECIFICATION NOTES.
-BE RESPONSIBLE FOR ANY ON SITE CONDITIONS SUCH AS SOIL BEARING CAPACITY, DEPTH OF FROST LINE, WATER TABLES OR BURIED STRUCTURES ETC.

EXAMINED
DATE: 11/11/09
Corrections and markings of plans and drawings by Town of Beaumont Safety Codes Officer are typical and demonstrate only. They do not necessarily include every infraction for which the contractor is responsible. The contractor is responsible for the safety code and act rests person responsible.

SHEET	NOTE	PROJECT	REVISIONS	SCALE	DATE	
4	Contractor/Builder shall verify all dimensions and details and notify designer of any errors or omissions prior to the commencement of any work. All drawings are instruments of _____ and shall not be used without the permission of IMAGE DESIGN	SUNDAY MORNING '09	november 2009	1/4"=1'-0"	MAY 2/ 2008	
6		DRAWING		DRAWN	CHECKED	
		MAIN FLOOR PLAN		TC		
				IMAGE DESIGN & DRAFTING		
						PANONIA HOMES

BRANKO CALIC
Owner, Manager
(780) 221-6663