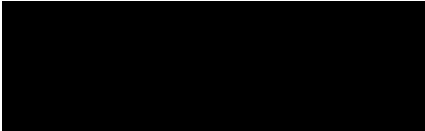


Development Permit Notice of Decision

Date of Decision: November 25, 2025



Proposed Development: Home Based Business Major: Day Home
Rupis' Day Home

Legal Description: Plan 192 0846, Block 9, Lot 51

Municipal Address: 5822 Pelerin Crescent, Beaumont, AB

Land Use District: Conventional Neighbourhood

Permit Application No: D-2025-79

Tax Roll: 009335

Development Permit Status: Approved with conditions

Development Permit Decision

This decision **authorizes the use of a Home-Based Business (Major)** for the purpose of operating a **Day Home** at the above address, in accordance with the plans and information submitted with the application, until December 31, 2026.

This use is **Discretionary** within the Conventional Neighbourhood District under the City of Beaumont Land Use Bylaw 944-19 and has been approved by the Development Authority subject to the conditions below. Unless otherwise provided for in this approval, all applicable requirements of the Land Use Bylaw must be met.

Conditions of Approval

1. As this permit has been issued for a Discretionary Use, this permit shall not come into full force and effect until expiration of the required 21-day appeal period, pending no appeals. Refer to appeal information below.
2. This permit is issued on a temporary basis expiring December 31, 2026. Continuation of the approved use beyond this date requires a new Development Permit.
3. Applications for renewal should be made in advance of expiry, allowing adequate time for review, decision, and the appeal process.
4. The Day Home is approved on a temporary basis with authorization expiring December 31, 2026.

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- 5. The Developer shall apply for a new permit prior to December 31, 2026. If a new permit is not issued, the Day Home shall cease operation effective January 1, 2027.**
- 6. The City of Beaumont reserves the right to revoke this permit at any time prior to the expiry date if, in the opinion of the development authority, the applicant fails to comply with any condition of approval or provision of the Land Use Bylaw.**
7. Location of the business operations is approved as shown on the attached site plan.
8. A minimum of one (1) on-site parking stall shall be provided for Client parking, as approved on attached parking plan.
9. A maximum of six (6) children shall be permitted on-site at any one time. Children of the Applicant/Caregiver are not included in this number.
10. One (1) non-illuminated sign, no greater than 0.60m x 0.90m in area, shall be permitted.
11. No more than two (2) employees shall be in attendance on-site at any one time.
12. This development permit is exclusively tied to this legal parcel only. If the Home Based Business relocates cannot be transferred to another parcel of land.
13. Vehicle parking and on/off loading of people shall be controlled by the Applicant/Owner so as not to interfere with the amenities of the neighbourhood. The driveway shall be kept clear of snow to allow for parking.
14. Hours of operation shall be restricted to 7:00 a.m. - 6:00 p.m., Monday to Friday.
15. A current and valid City of Beaumont [Business License](#) shall be required each year of operation, or this permit shall become void.
16. The operation of the Day Home shall remain reasonably compatible with the surrounding residential character. Impacts such as noise, traffic, or other disturbances shall not exceed those reasonably anticipated in a residential neighbourhood, as determined by the Development Authority.

Additional Information

1. This application is **not** a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the *Alberta Safety Codes Act, RSA 2000, c S-1*, the *National Building Code – Alberta Edition 2023*, and all other applicable bylaws and/or regulations.
2. This Development Permit is issued under the City of Beaumont *Land Use Bylaw 944-19*. It does not exempt you from compliance with any other Municipal bylaw or statutory plan applicable to the proposed development, any relevant Federal or Provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject Lands.

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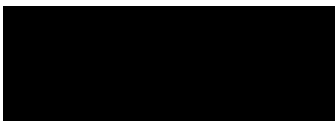
3. It is the responsibility of the Applicant to ensure that they have reviewed and understand all Instruments registered against the Title of the subject property. This includes all easements, caveats, and restrictive covenants. The City shall not address, nor enforce, any Instruments of which we have no interest in and/or are not a party to.
4. Contact *Alberta One Call* at 1-800-242-3447 to locate underground services prior to construction, if applicable.
5. Electrical, plumbing, and gas permits, as required, shall be the responsibility of the Owner/Applicant. Please, contact the *Inspections Group* at 1-780-554-5048 or questions@inspectionsgroup.ca regarding permits and inspections for these disciplines.
6. This permit will be circulated to *Beaumont Fire Services*, who will determine if a fire inspection shall be required.
7. This permit is subject to approval or exemption by *Leduc Public Health*. Failure to comply may result in cancellation of this development permit and the associated business license. Contact *Leduc Public Health* at 780-980-4644 to schedule an inspection.

Permit Notification Information

In accordance with the City of Beaumont *Land Use Bylaw 944-19*, notices regarding this Development Permit have been mailed to owners of adjacent and nearby properties, as these individuals have the right to appeal this permit, as explained above. The same Development Permit Notice mailed to these individuals has been attached for your information.

Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Emily Jensen
Development Officer
587-338-5935
emily.jensen@beaumont.ab.ca

Development Permit Notice of Decision

Date of Decision: November 25, 2025

Permit Number: D-2025-79

Appeal Information

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) or the Land and Property Rights Tribunal if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

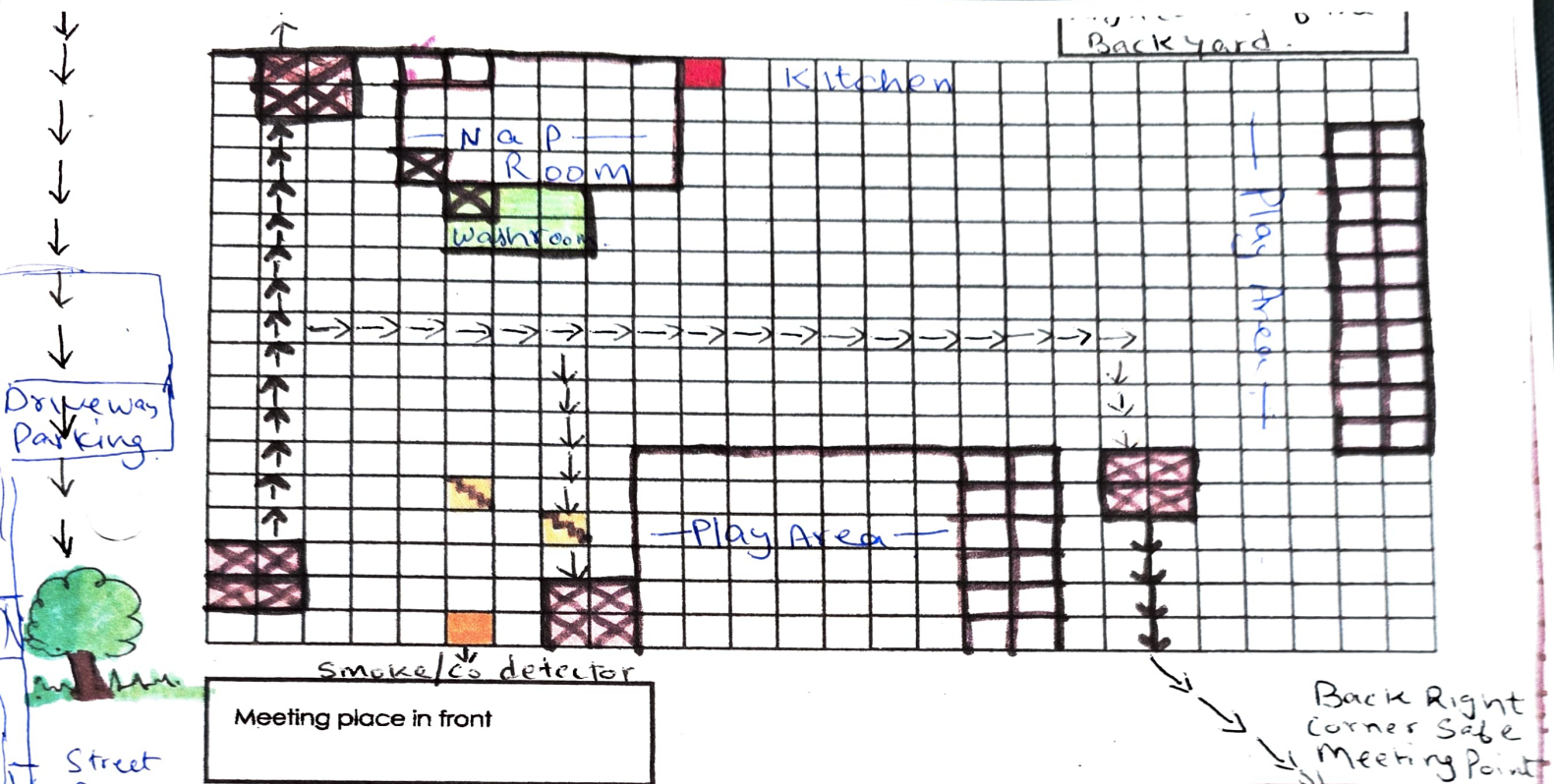
An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit, or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

Notice of Decision:	November 25, 2025
Appeal deadline:	December 16, 2025
Permit active (if no appeals filed):	December 17, 2025

Please be advised that an appeal may be submitted in accordance with Section 685 of the Municipal Government Act with the Subdivision and Development Appeal Board within 21 days of the written decision. To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at legislative@beaumont.ab.ca. Appeals must be filed no later than 4:30 p.m. on the date indicated above. Please visit our website for more details at www.beaumont.ab.ca



LOCATION OF FIRE EXTINGUISHER (A.B.C. 2 ½ LB. all purpose)

LOCATION OF SMOKE DETECTOR/CO DETECTOR

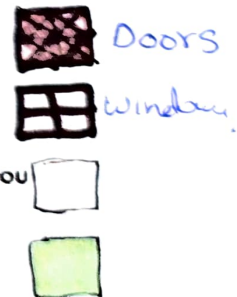
RELOCATION ADDRESS: 5826 Pelerin Crescent Beaumont

EVACUATION ADDRESS: Meeting Place at front

LOCK DOWN LOCATION: Washroom, next to children nap room.
(please highlight area on plan)

METHOD OF TRANSPORTATION (i.e. walk, car, etc.): Walking (on foot)

- **REMEMBER!!**
- Rooms used by children must have 2 exits (door, window)
- Close bedroom door when child is sleeping
- Check smoke detectors monthly
- Do not store paints, lawn mowers, gasoline or other combustible hazards inside home (i.e. basement)
- If you hear a smoke detector alarm, evacuate immediately. If there is no sign of smoke, you may return to check your home or call the Fire Department to check for you.



12/10, 12/11, 11/13, 12/14, 01/20
Leduc-Strathcona Services for Children

Permit No. D-2025-79

Approved November 25, 2025
Development Officer

For Parking Plan and
Location/Use Only