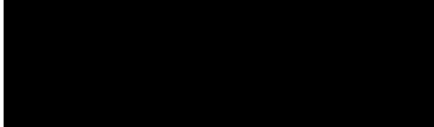


Development Permit Notice of Decision

Date of Decision: August 22, 2025

MES Architecture c/o Mike Szesny



Proposed Development: Restaurant / Café (325m²), Retail & Service – General (1,113 m²), Restricted Substance Retail (Liquor Store) (238m²), Human Services (611m²), Office (1,313m²), and Education (622m²) Uses

Legal Description: Plan 2421952, Block 1, Lot 72

Municipal Address: 3502 39 AVE, Beaumont, AB

Land Use District: Commercial

Permit Application No: 2025-021

Tax Roll: 00010662

Development Permit Status: Approved with conditions

Development Permit Conditions

The development (Education & Restricted Substance Retail) noted above is considered a Discretionary Use within the Commercial District, and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

1. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
2. **As this permit has been issued for a discretionary use this permit shall not come into force and effect until the appeal period has expired, [September 13, 2025].**
3. The site shall be developed in accordance with the attached plans issued for development dated August 22, 2025. **Any changes to the attached plans require prior written approval by the City.**
4. All above ground utility boxes located on Plan 2421952, Block 1, Lot 72 along the 39 Avenue frontage shall be vinyl wrapped. The vinyl wrap shall be weather-resistant and durable, suitable for long term outdoor exposure and feature a design that complements the surrounding streetscape, subject to written approval by the Development Authority.
5. Wall mounted lighting shall be installed along the north face of the building as indicated on the approved lighting plan and shall be directed downward and shielded in a manner to not be directed to adjacent lots. In all other cases, lighting for the building shall be provided as shown on the attached approved plans. All permanently installed lighting shall be compliant with International Dark-Sky Association requirements.

Development Permit Notice of Decision

Date of Decision: August 22, 2025

Permit Number: 2025-021

6. The owner shall arrange for snow to be cleared and removed from the site, there is no area approved for seasonal snow storage on the site plan.
7. Prior to commencing any activity on the lands, the applicant shall enter into and during the currency of the permit abide by a Development Agreement (pursuant to the Municipal Government Act s. 650), containing terms acceptable to the Municipality. The Development Agreement shall include but not be limited to the following:
 - a. that the Applicant submit civil engineering drawings in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City.
 - b. that the Applicant shall provide security in a form satisfactory to the City for all obligations under the Development Agreement, including but not limited to, pre-grading, civil works on public property, and hard and soft landscaping on private property.
 - c. that the Applicant shall pay their proportionate share of the offsite levies for this development pursuant to Bylaw 945-19 as may be amended from time to time.
 - d. that the Applicant provide security and construct off-site infrastructure to connect a walkway from the adjacent multi-use trail along Range Road 241 to the 2m walkway located on the north boundary of Plan 2421952, Block 1, Lot 72.
 - e. that the Applicant shall ensure that all above ground utility boxes located on Plan 2421952, Block 1, Lot 72 along the 39 Avenue frontage are vinyl wrapped **prior to the release of hard and soft landscaping securities.**
8. Any structures above 0.6m in height located within the corner cut at Range Road 241 and 39 Avenue shall be removed. Changing the approved site plan to relocate the structures on to the subject property shall require written permission from the City.
9. The Applicant shall provide the development authority with AutoCAD drawings to the satisfaction of the development authority with the building permit application.
10. The owner/applicant shall obtain all federal, provincial and local permits as they apply to this project.

Additional Information

1. A development permit is required to change any of the uses approved under 2025-021.
2. Separate sign permit applications will be required for any on-site signage.
3. Based on the details of the approved plans, the development meets the minimum required 75% Essential Elements and 25% Suggested Elements of the Beaumont Urban Design Guidelines.
4. Fire Advisements

Development Permit Notice of Decision

Date of Decision: August 22, 2025

Permit Number: 2025-021

- a. A Fire Safety Plan must be posted in a visible area on the construction site.
- b. The Fire Chief requires that the City of Beaumont Fire Department be provided with one (1) elevator key, to be used during a rescue operation, in the event occupants or visitors to the building become trapped inside the elevator car.
- c. The Applicant shall purchase a key box from the City Hall Office to ensure all building units are accessible in case of an emergency.

5. Infrastructure Advisements

- a. The owner shall contact all franchise utilities to arrange for any service connections that are required. Where City utilities and services are interfered with or for construction, which is on municipal property, the Applicant will be responsible for the cost of relocation/repair of these municipal services.
 - b. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to waterandwastewater@beaumont.ab.ca. This application must be submitted thirty (30) days prior to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.
6. This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
 7. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the Alberta Safety Codes Act and any other applicable bylaws or regulations.
 8. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.
 9. The site shall be kept clear of all construction garbage and debris; an on-site garbage container/bin shall be required.
 10. It is the responsibility of the Applicant to ensure they have reviewed and understand all Instruments registered against the Title of the subject property. This includes all easements, caveats, and restrictive covenants. The City shall not address, nor enforce, any Instruments of which we have no interest in and/or are not a party to.
-

Development Permit Notice of Decision

Date of Decision: August 22, 2025

Permit Number: 2025-021

Permit Notification Information

In accordance with the City of Beaumont Land Use Bylaw 944-19, notices regarding this Development Permit have been mailed to owners of adjacent and nearby properties, as these individuals have the right to appeal this permit, as explained above. The same Development Permit Notice mailed to these individuals has been attached for your information.

It is the applicant's responsibility to manufacture and install a 4x6' signs on site notifying of the development, in accordance with the template provided by the City of Beaumont.

Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

Appeal Information

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

Notice of Decision:	August 22, 2025
Appeal deadline:	September 12, 2025
Permit active (if no appeals filed):	September 13, 2025

Please be advised that an appeal may be submitted in accordance with Section 685 of the Municipal Government Act with the Subdivision and Development Appeal Board within 21 days of the written decision. To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782

Development Permit Notice of Decision

Date of Decision: August 22, 2025

Permit Number: 2025-021

or at legislative@beaumont.ab.ca. Appeals must be filed no later than 4:30 p.m. on the date indicated above. Please visit our website for more details at www.beaumont.ab.ca

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Yasmin Sharp, RPP, MCIP
Manager, Development Planning
780-243-0552
Yasmin.sharp@beaumont.ab.ca

cc:
Olly Morrison, Chief Financial Officer, DCAO Internal Services
Kendra Raymond, Director, Planning & Development
Jennifer Niesink, Director, Economic Development
Jay Melvin, Director, Protective Services & Fire Chief
Aaron Lewicki, Director, Infrastructure
Paul Suiter, Director, Community Services
Ryan Anders, Manager, Engineering & Environment
Joannes Wong, Manager, Long Range Planning
Wendy Jones, Manager, Investment Attraction & Growth
Bryce Piacentini, Manager, Parks and Roads Operations
Ryan Orlovsky, Manager, Facility & Utility Operations
Carley Krahn, Fire Prevention Officer
Joe Ross, Safety Codes Team Lead
Parth Mehta, Engineering Lead
Iolanda Troiani, Engineering Coordinator
Sara Edge, Operations Facility Administrative Assistant
Troy Birtles, Accurate Assessment
Dermian Ayalefac – Alberta Health Services - Leduc Public Health



Site Statistics:
Address: Lot 72, Block-1, Plan 242 1952
Municipal Address: 3502 39 Ave, Beaumont, AB

Part 3: Landuse Districts- Commercial District (C)

- Uses:
- Restaurant/Cafe - P
 - Retail & Sevice(General) - P
 - Restricted Substance Retail - D
 - Education - P, D
 - Human Services - P
 - Sign(Part - 4) - P

Principal Buildings:

- Principal frontage Setback: Min 3m
Secondary Frontage Setback: Min 3m
Side Yard Setback: Min 3m
Rear Yard Setback: Min 3m
Lot Coverage: Max 40%

Lot Coverage:
28,155/80,782 x 100-34%

Site Area: 80,870.72 sft- 7,509 m2-1.85 acres- 0.749 Ha

Areas:
Total Built up Area: 52,195 sq.ft.(including M/E,C'm area 5,174 m2

- Main Floor:
- 1. Retail: 12,432 sq.ft. (1,154 M2)
 - 2. Ret/Rest. : 3,940 sq.ft. (366 M2)
 - 3. Medical: 5,720 sq.ft. (531 M2)
 - 4. Liqour: 3,000 sq.ft. (278 M2)
 - 5. Pharmacy: 1,740 sq.ft. (161 M2)
 - 6. Commn Area: 1,240 sq.ft. (115 M2)
 - Total: 28,081 sq.ft. (2,608 M2) (Inc common area)

- Second Floor:
- 1. Daycare: 7,250 sft (673 M2)
 - 2. Office: 15,220 sft (1,413M2)
 - 3. Commn Area: 1,644 sft (152 M2)
 - Total: 24,114sft (2,240.24 M2) (Inc Common area)

Parking lot Coverage- 47%(38,017/80870) - Max allowed 50%

Parking:
Restaurant: 2/100m2-1076 sq.ft.
Req: 8 stalls

Retail: 1/100m2-1076 sq.ft.
Req: 12 stalls

Liqour: 1/100m2-1076 sq.ft.
Req: 3 stalls

Med/Pharmacy/Daycare: 2/100m2-1076 sq.ft.
Req: 14 stalls + 18 stalls(drop off)

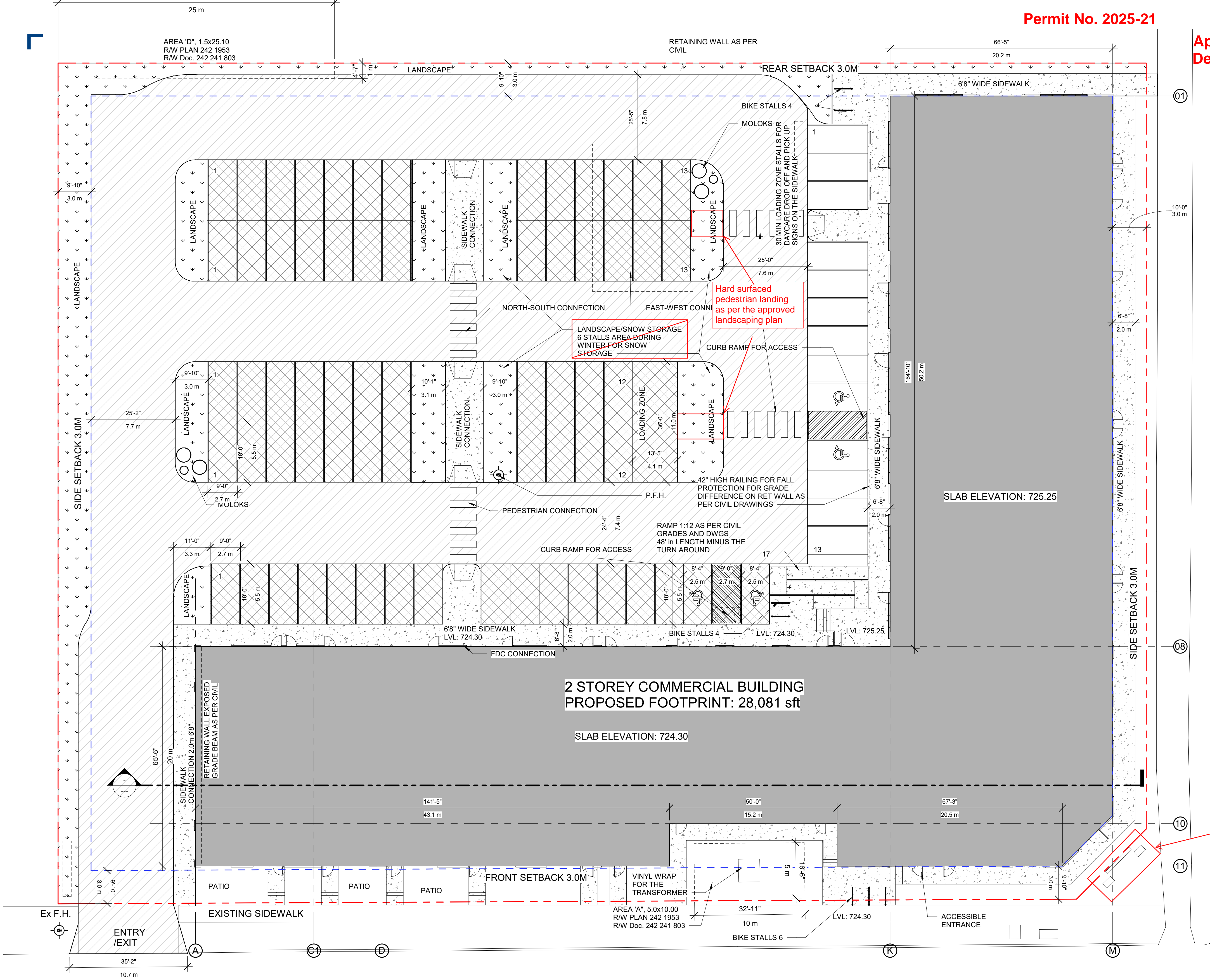
Office: 1 stalls per 100m2- 1076 sq.ft.
Req: 15 stalls

Total Required: 70 stalls- 75 stalls
Total Provided: 78 stalls Including three 3 daycare loading zone stalls

75 stalls

Bike Stalls provided: 12 stalls

Range Rd. 241



Structures above 0.6m in height located within the corner cut shall be removed

- PROPOSED LANDSCAPE
- INTERNAL ROAD HEAVY DUTY ASPHALT- (28,000 kg/m3 LOAD CAPACITY)
- INTERNAL ROAD LIGHT DUTY ASPHALT
- BROOM FINISH CONCRETE SIDEWALK, WITH CUT LINES EVERY 5' , RECREATION SPACE

39 Avenue

Project Status

OVERALL SITE PLAN

Project number	1001
Date	29/07/2025
Drawn by	Author
Checked by	Checker

DO NOT SCALE DRAWINGS

DP1.1

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
DECIDUOUS TREES					
SDC	9	Sorbus Decora	Showy Mountain Ash	6.0 m X 4.6 m	FULL, DENSE
MSS	4	Malus 'Spring Snow'	Spring Snow Flowering Crab	6.0 m X 4.57 m	FULL, DENSE
CONIFEROUS TREES					
PCM	2	Picea mariana	Black Spruce	20.0 m X 4.0 m	FULL, DENSE
PPF	11	Picea pungens 'Fastigiata'	Columnar Blue Colorado Spruce	6.0 m X 2.4 m	FULL, DENSE
DECIDUOUS SHRUBS					
SJY	37	Syringa 'Jeflady'	Little Lady Lilac	1.5 m X 1.5 m	FULL, DENSE
CONIFEROUS SHRUBS					
PMP	6	Pinus mugo var. pumilio	Dwarf Mugo Pine	1.2 m X 1.2 m	FULL, DENSE
ABN	4	Abies Balsamea 'Nana'	Dwarf Balsam Fir	0.6 m X 0.9 m	FULL, DENSE
GRASS					
CAK	221	Calamagrostis Acutiflora	Karl Foerster Reed Grass	1.2 m X 0.8 m	FULL, DENSE

PLANTING CALCULATION

NUMBER OF TREES REQUIRED	NUMBER OF TREES PROVIDED	NUMBER OF SHRUBS REQUIRED	NUMBER OF SHRUBS PROVIDED	NUMBER OF GRASSES PROVIDED
22	26	22	47	221

COST ESTIMATE FOR PLANTING

BOTANICAL NAME	COMMON NAME	QTY	COST PER UNIT	TOTAL COST
DECIDUOUS TREES				
Sorbus Decora	Showy Mountain Ash	9	\$500	\$4500
Malus 'Spring Snow'	Spring Snow Flowering Crab	4	\$500	\$2000
CONIFEROUS TREES				
Picea mariana	Black Spruce	2	\$600	\$1200
Picea pungens 'Fastigiata'	Columnar Blue Colorado Spruce	11	\$600	\$6600
DECIDUOUS SHRUBS				
Syringa 'Jeflady'	Little Lady Lilac	37	\$80	\$2960
CONIFEROUS SHRUBS				
Pinus mugo var. pumilio	Dwarf Mugo Pine	6	\$80	\$480
Abies Balsamea 'Nana'	Dwarf Balsam Fir	4	\$80	\$320
GRASS				
Calamagrostis Acutiflora	Karl Foerster Reed Grass	221	\$80	\$17680
Trees Subtotal				\$14300
Shrubs Subtotal				\$3760
Grasses Subtotal				\$17680
Sub Total				\$35740

COST ESTIMATE FOR SOFTSCAPE

SUPPLY & INSTALLATION OF	AREA Sq.m	DEPTH m	VOLUME Cubic m	COST	PER UNIT	TOTAL
SOD	328.72	-	-	\$30	Sq.m	\$9861.6
TOP SOIL FOR SOD	328.72	0.2m	65.74	\$75	Cubic m	\$4930.5
WOOD MULCH	378.77	0.10m	37.88	\$90	Cubic m	\$3409.2
PLANTING BED	378.77	0.45m	170.45	\$75	Cubic m	\$12783.75
Softscaping Total						\$30985.05

TOTAL COST FOR PLANTATION & SOFTSCAPING = \$ 66725.05

GST (5%)= \$ 3336.25

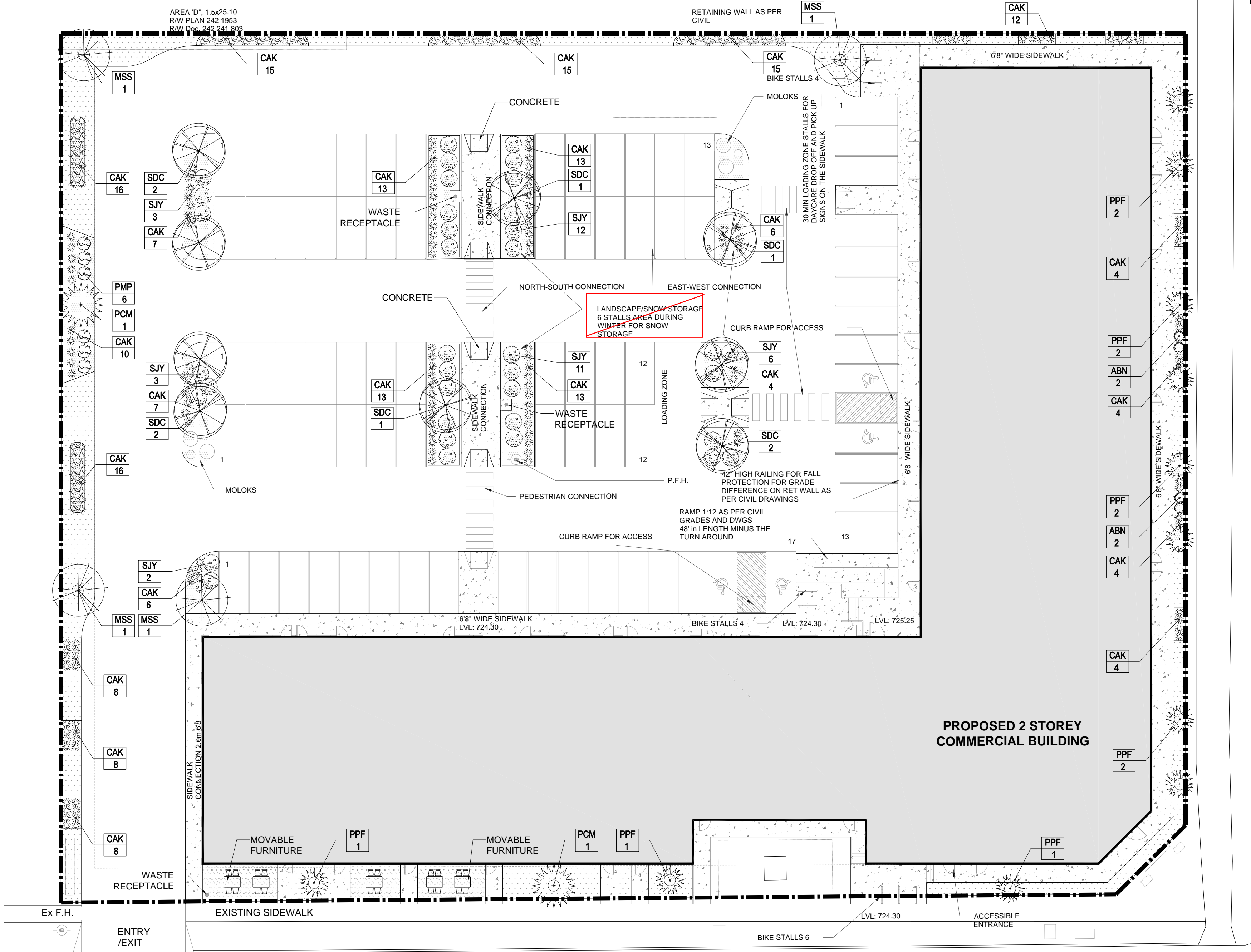
TOTAL LANDSCAPE SECURITY (100% OF LANDSCAPING COST+ GST) = \$ 70061.3

NOTES:

- QUANTITIES GIVEN ARE FOR INFORMATION ONLY.
- ALL PLANTS ARE TO BE HEALTHY, FULL, BALANCED, AND EXCEPTIONALLY HEAVY. ALL PLANT MATERIAL SHALL MEET THE HORTICULTURAL STANDARDS OF THE MOST CURRENT EDITION OF THE 'GUIDE SPECIFICATIONS FOR NURSERY STOCK' PRODUCED BY THE CANADIAN NURSERY TRADE ASSOCIATION.
- PROVIDE TURF IN ALL DISTURBED AREAS NOT OTHERWISE PLANTED OR PAVED.
- PROVIDE WOOD MULCH AROUND THE TREES AS SHOWN IN THE PLAN AS WELL AS IN DETAILS.
- THE EXISTING TREES IN THE CITY OWNED LANDS TO BE PROTECTED.
- REFER TO ARCHITECTURAL PACKAGE FOR DETAILS RELATED TO PEDESTRIAN ORIENTED LIGHTS, MOLOK SPECIFICATIONS AND BIKE RACKS.

SIZE OF TREES AND SHRUBS

DECICUOUS TREES	Minimum 50mm CAL.
CONIFEROUS TREES	Minimum 2.0m Height
DECICUOUS SHRUBS	Minimum 300mm Height (5 gallon pot)
CONIFEROUS SHRUBS	Minimum 450mm Spread (5 gallon pot)



Range Rd. 241

2

PLANTING PLAN

1:500

LEGEND

	CONCRETE		WASTE RECEPTACLE
	WOOD MULCH		MOVABLE FURNITURE
	SOD		
	PROPOSED TREES		
	PROPOSED SHRUBS & GRASSES		
	PROPERTY LINE		

CLIENT :

-

PROJECT :

3502 39 Ave
AZUR CENTRAL

ARCHITECT :

MES
ARCHITECTURE

ISSUED FOR DP
NOT FOR CONSTRUCTION

R1 2025.08.22

R0 2025.06.13

No. Description Date

PLANTING PLAN

Project No. : D24-56
Scale : 1:500
Drawn By : FF
Checked By : DD/AD
Date : -

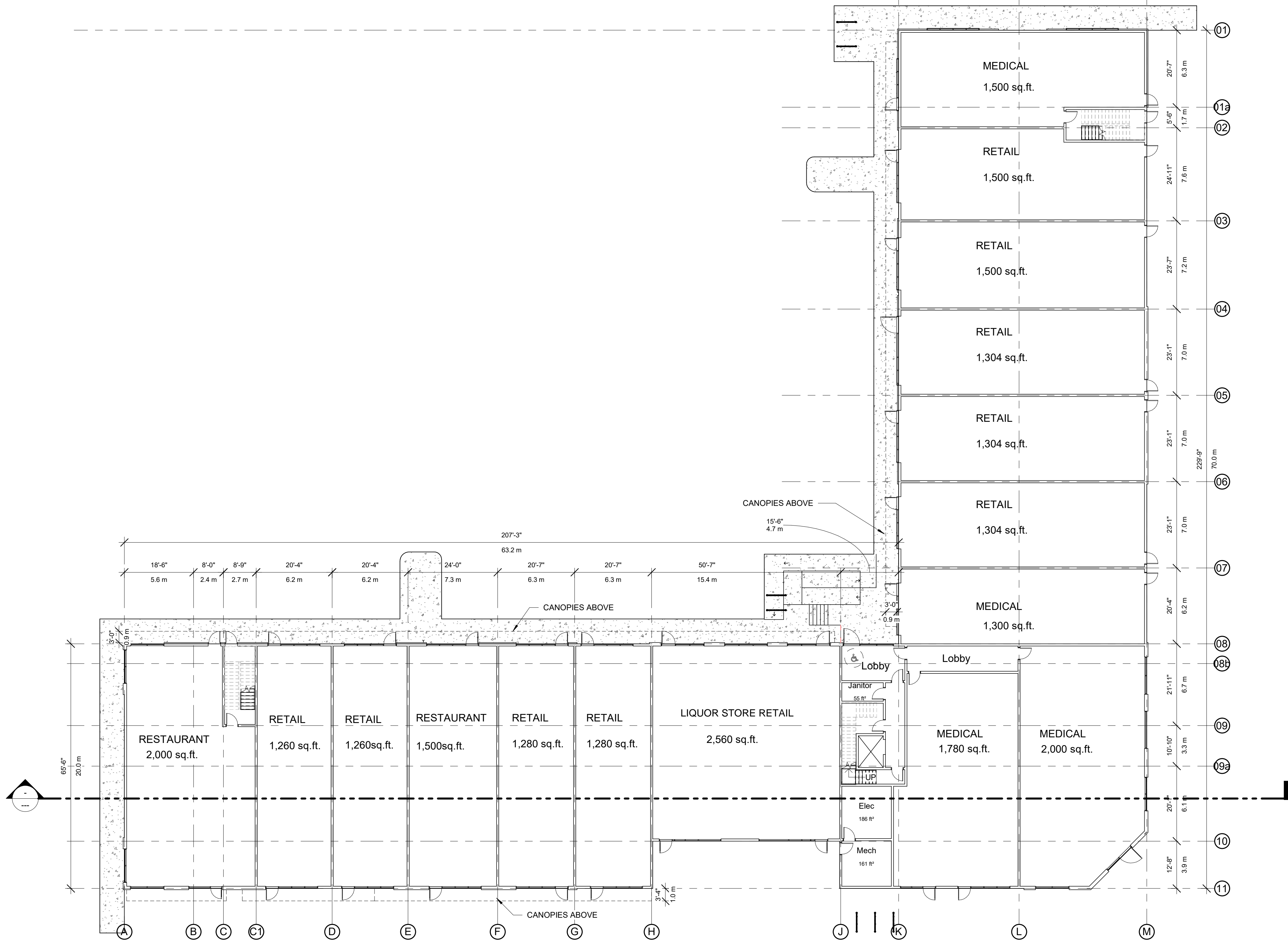
Sheet No. L-102

NFC



Permit No. 2025-21

Approved August 22, 2025
Development Officer



1 MAIN FLOOR PLAN
DP2.1 SCALE: 1/16" = 1'-0"

MES ARCHITECTURE LTD.
PERMIT No. AC 15773
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

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service and property of the Architect and shall
not be used without the Architect's permission.
Contractor shall verify all dimensions and details
and refer any discrepancies to the Architect
before proceeding with the work.

List of Consultants
Structural:
Mechanical:
Electrical:
Fire Safety
Sprinkler:

Central Commercial
Dev Ltd

3502 39 AVE Beaumont

Azur Central

Issues:
Issued for Pricing
Issued for Development Permit
Issued for Building Permit
Revisions

MAIN FLOOR PLAN

Project number	1001
Date	29/07/2025
Drawn by	Author
Checked by	Checker

DO NOT SCALE DRAWINGS

DP2.1

Project Status

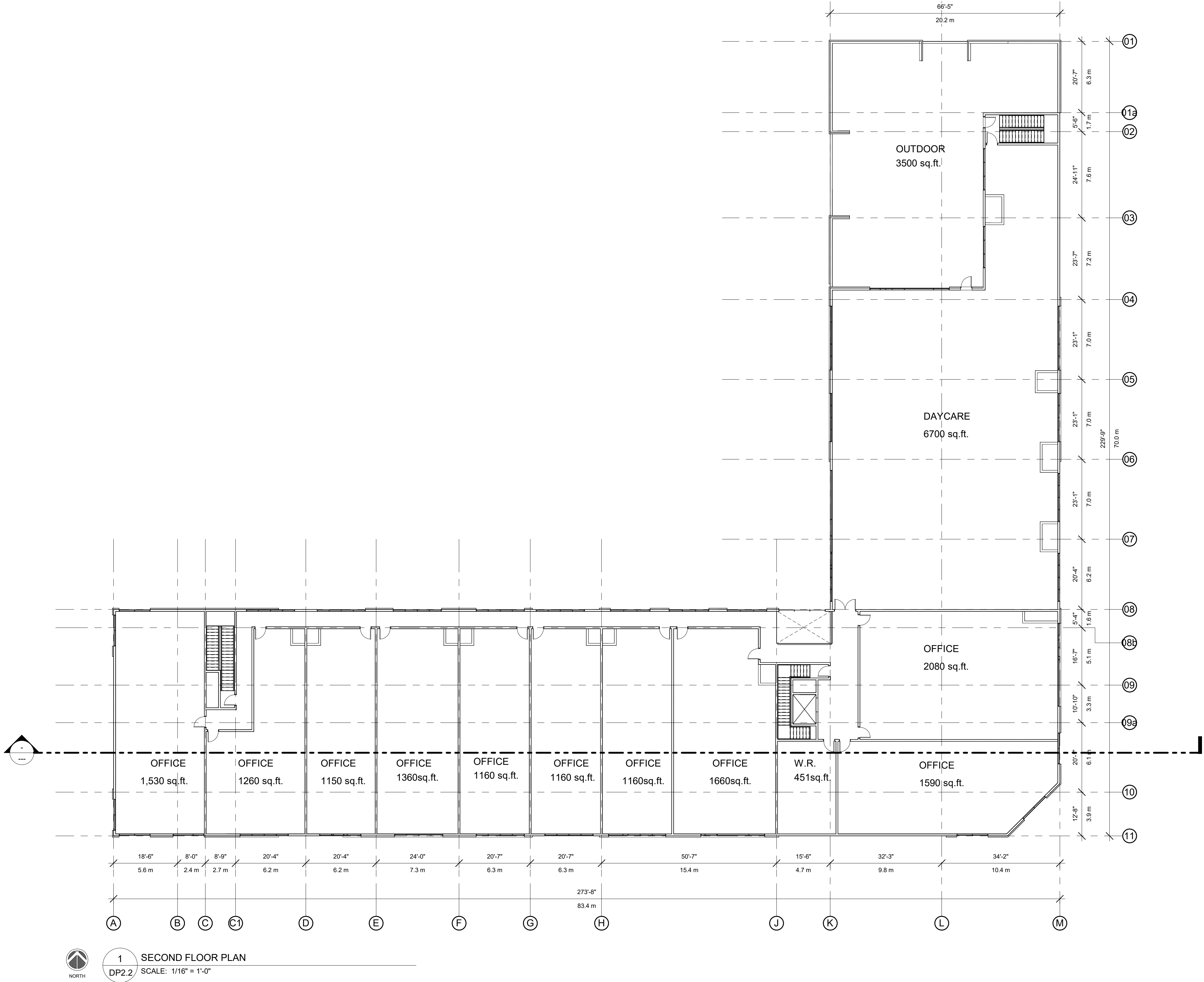
2025-08-12 11:27:50 AM





Permit No. 2025-21

Approved August 22, 2025
Development Officer



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Structural:
Mechanical:
Electrical:
Fire Safety
Sprinkler:

Central Commercial
Dev Ltd

3502 39 AVE Beaumont

Azur Central

Issues:

Issued for Pricing
Issued for Development Permit
Issued for Building Permit
Revisions

SECOND FLOOR
PLAN

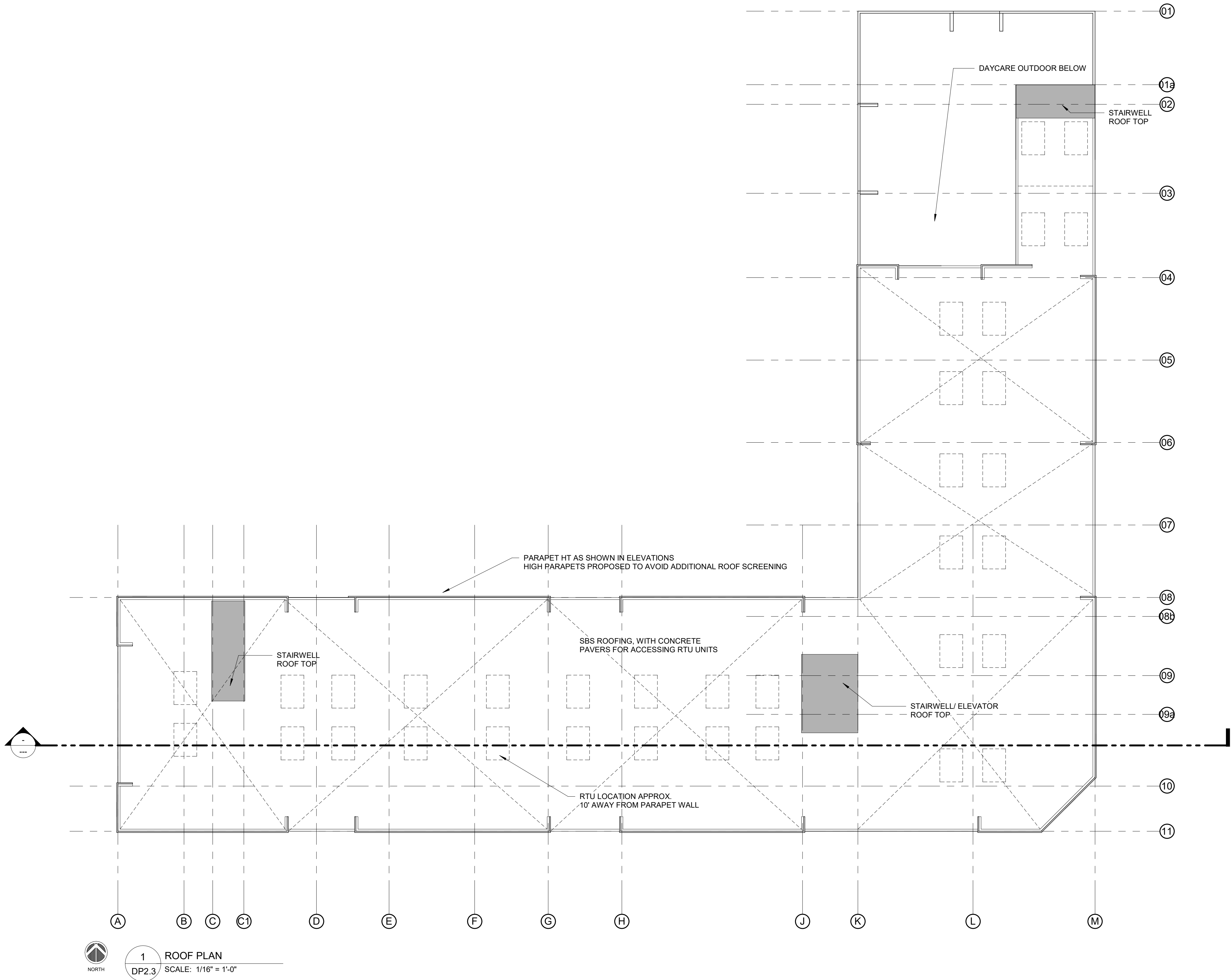
Project number	1001
Date	29/07/2025
Drawn by	Author
Checked by	Checker

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DP2.2

Project Status





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List of Consultants

Structural:

Mechanical:

Electrical:

Fire Safety

Sprinkler:

Central Commercial
Dev Ltd

3502 39 AVE Beaumont

Azur Central

Issues:

Issued for Pricing
Issued for Development Permit
Issued for Building Permit
Revisions

ROOF PLAN

Project number	1001
Date	29/07/2025
Drawn by	Author
Checked by	Checker

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DP2.3

Project Status

2025-08-12 11:27:53 AM

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before proceeding with the work.

List of Consultants

Structural:
Mechanical:
Electrical:
Fire Safety
Sprinkler:

Central Commercial Dev Ltd

3502 39 AVE Beaumont

Azur Central

Issues:
Issued for Pricing
Issued for Development Permit
Issued for Building Permit
Revisions

EXTERIOR ELEVATIONS

Project number 1001
Date 18/01/2025
Drawn by Author
Checked by Checker

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DP3.1

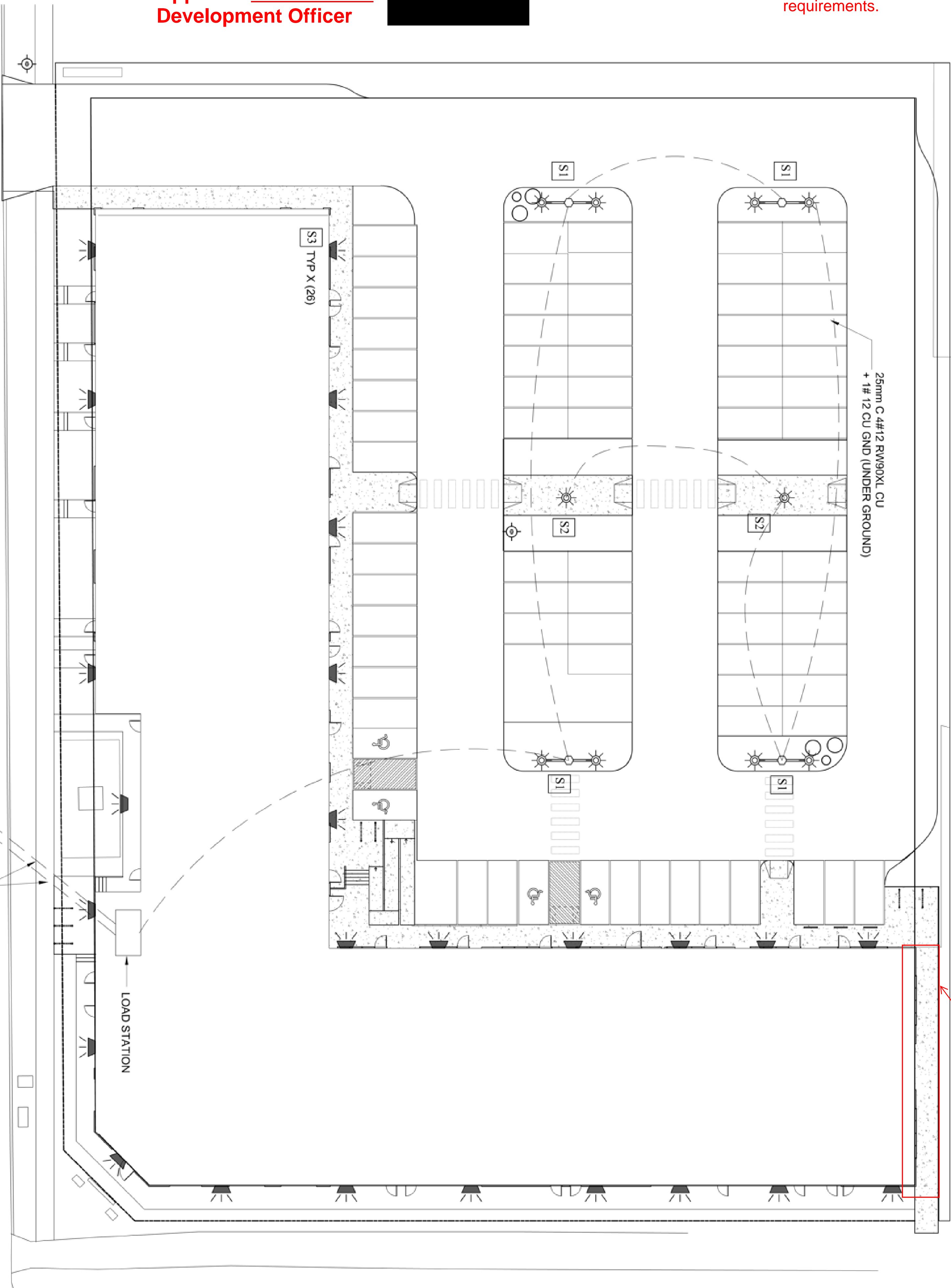
Project Status



LUMINAIRE SCHEDULE - SITE LIGHTING				
TAG	DESCRIPTION	MOUNTING	LOAD VOLTAGE	LAMP
S1	DBL HEAD POLE LIGHT C/W SQUARE POLE	POLE +7620 AFF	101W 120V PER HEAD	1435 LM 70CR1 4000 K LED
S2	SINGLE HEAD POLE LIT C/W SQUARE POLE	POLE +7620 AFF	101W 120V	1435 LMD 70 CR1 4000K LED
S3	WALL MOUNT LIT	PER ARCHITECTURAL PLAN	20W 120V	1518 LM 80 CR1 4000K LED

Wall mounted lights shall be installed along the north face of the building as per the Notice of Decision

Lighting shall be directed downward and shielded in a manner to not be directed to adjacent lots. All permanently installed lighting shall be compliant with International Dark-Sky Association requirements.



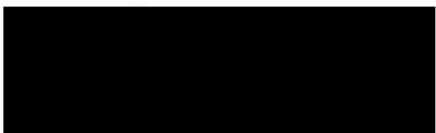
- NOTES:
- ENTRANCE POINT OF FORTIS ALBERTA PRIMARY AND EXACT LOCATION AND CONDUIT SIZE TO BE CONFIRMED BY EC AND INSTALLED AS PER UTILITY COMPANY SPECIFICATION.
 - AS PER FORTIS SERVICE PROVIDE CLEARANCE OF 1M FROM U/G GAS LINES, 1.8M FROM WATER UTILITY LINES AND 3M FROM VALVES, HYDRANTS, CATCH BASIN, MANHOLES, VAVETS, SANITARY AND STORM SEWER LINES TO BE MAINTAINED.
 - PROVIDE PRECAST CONCRETE PAD, GROUND GRID, AND GUARD RAILS PER FORTIS REQUIREMENTS FOR TRANSFORMER.
 - EC CONSULT WITH OWNER, MC AND CITY FOR LAND USE EASEMENT, RIGHT OF WAY, COVENANTS AND ALL ALLOWANCES BEFORE CONSTRUCTION.
 - EC CONSULT WITH TELEPHONE AND CABLE COMPANY FOR TELEPHONE AND CABLE ENTRANCE POINTS AND INSTALL SERVICES AS PER TELPHONE AND CABLE COMPANY SPECIFICATIONS.

S1 YARD LIGHT

1 ELECTRICAL SITE PLAN

E1.0 1/4" = 1'-0"

Permit No. 2025-21
Approved August 22, 2025
Development Officer



notes:

DIMENSIONS SHALL BE VERIFIED ON SITE BY THE CONTRACTOR. ALL DIMENSIONS SHALL BE REPORTED TO THE OFFICE. COPYRIGHT RESERVED

references:
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS.

REVISIONS

NO	DESCRIPTION	DATE

Seal

Seal

permit

IFBP
June 15, 2025

consultant
MSLAT ENG. INT. INC.
TELEPHONE: 780-982-5596
chrisyawe@yahoo.com

general contractor:

project no: -

project name:
ACE-COMM CENTER
AZUR

building code/id, building name
location:
3502 39 AVE
BEAUMONT, AB

drawing title
ELECTRICAL
LIGHTING
SITE PLAN

Scale: AS NOTED

All dimensions are in inches U.N.O.

drawn by: P.R.
date: June 15, 2025

E1.0

checked by: C.I.

date: June 15, 2025

Sheet no. 1 of 1

reviewed by: C.1.

date: June 15, 2025

project no. 2025-018

CAD filename:

2025-018-E1.0-ELECTRICAL SITE PLAN

REV NO
0



NORTH EAST VIEW- PROJECT VIEW DAY VIEW

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List of Consultants
Structural:
Mechanical:
Electrical:
Fire Safety
Sprinkler:

Central Commercial Dev Ltd
3502 39 AVE Beaumont

Azur Central

Issues:
Issued for Pricing
Issued for Development Permit
Issued for Building Permit
Revisions

3D VIEWS

Project number	1001
Date	29/07/2025
Drawn by	Author
Checked by	Checker

DO NOT SCALE DRAWINGS

DP3.2

Project Status



SOUTH SIDE 39 AVE - NIGHT VIEW

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List of Consultants
Structural:
Mechanical:
Electrical:
Fire Safety
Sprinkler:

Central Commercial Dev Ltd
3502 39 AVE Beaumont

Azur Central

Issues:
Issued for Pricing
Issued for Development Permit
Issued for Building Permit
Revisions

3D VIEWS

Project number	1001
Date	29/07/2025
Drawn by	Author
Checked by	Checker

DO NOT SCALE DRAWINGS

DP3.6

Project Status