

## **Development Permit Notice of Decision**

Date of Decision: July 23, 2025

Samantha Wood  
5718 Rue Eaglemont  
Beaumont, AB T4X 0W4

**Proposed Development:** Deck: Existing Rear Yard w/Accessibility Ramp (5.55m x 9.85m)  
w/Variance  
**Legal Description:** Plan 112 5850, Block 21, Lot 1  
**Municipal Address:** 120 Rue Montalet, Beaumont, AB  
**Land Use District:** Conventional Neighbourhood  
**Permit Application No:** DB-2025-474  
**Tax Roll:** 007357

**Development Permit Status:** Approved with conditions

### **Development Permit Conditions**

The development noted above is considered a Permitted Use with Variance within the Mature Neighbourhood District and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

- 1. As this permit has been issued for a permitted use with a variance, this permit shall not come into force and effect until the appeal period has expired. Refer to appeal information below.**
2. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
3. The location of the deck and accessibility ramp is approved as shown on the attached site plan.
- 4. A variance has been granted to allow the Deck and Ramp to encroach 3.54m into the required 6.0m minimum rear yard setback for the Conventional Neighbourhood District.**
- 5. Notice of this development shall be posted on site for a minimum of 10 consecutive calendar days.**
6. Provide adequate surface drainage, ensuring positive drainage away from building foundation and ensuring no water runs onto an adjacent property. In all cases, compliance with the City of Beaumont *Surface Drainage Bylaw 1058-25* shall be required.

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### **Additional Information**

1. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the *National Building Code – Alberta Edition 2023*, and any other applicable bylaws or regulations.
2. This Development Permit is issued under the City of Beaumont *Land Use Bylaw 944-19*. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
3. Contact *Alberta One Call*, at 1-800-242-3447 to locate underground services prior to construction, if applicable.

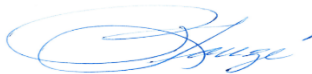
### **Permit Notification Information**

In accordance with the City of Beaumont *Land Use Bylaw 944-19*, notices regarding this Development Permit have been mailed to owners of adjacent and nearby properties, as these individuals have the right to appeal this permit, as explained above. The same Development Permit Notice mailed to these individuals has been attached for your information.

Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

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For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Patricia Lauzé  
Development Officer  
780-235-8786  
[patricia.lauze@beaumont.ab.ca](mailto:patricia.lauze@beaumont.ab.ca)

### **Appeal Information**

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) or the Land and Property Rights Tribunal if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

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An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit, or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

<b>Notice of Decision:</b>	July 23, 2025
<b>Appeal deadline:</b>	August 13, 2025
<b>Permit active</b> (if no appeals filed):	August 14, 2025

Please be advised that an appeal may be submitted in accordance with Section 685 of the Municipal Government Act with the Subdivision and Development Appeal Board within 21 days of the written decision. To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at [legislative@beaumont.ab.ca](mailto:legislative@beaumont.ab.ca). Appeals must be filed no later than 4:30 p.m. on the date indicated above. Please visit our website for more details at [www.beaumont.ab.ca](http://www.beaumont.ab.ca).

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

Permit No. DB-2025-474

Approved  
Development Officer

July 23, 2025

For Existing Deck/Ramp  
Use/Location Only; a variance  
has been granted to allow 3.54m  
encroachment

NOTE: BEARINGS ASSUMED FROM SUBJECT PLAN.

ALL VISIBLE GROUND LEVEL SIDEWALKS, PATIOS AND  
DRIVEWAYS PERTAINING TO THIS PROPERTY ARE WITHIN  
THE LIMITS OF THE SAME UNLESS SHOWN OTHERWISE.

CENTERLINE OF FENCE IS WITHIN 0.20 OF PROPERTY LINE  
UNLESS OTHERWISE NOTED.

LANDING HEIGHT: 0.86

RAIL HEIGHT: 0.95

DECK HEIGHT: 0.78

RAIL HEIGHT: 1.06

LOT CORNER LOCATION ESTABLISHED FROM RPR ON  
LOT:2 , BLOCK : 21 , PLAN : 112 5850 , Date: SEPT. 27, 2014  
PALS GEOMATICS CORP.

LOT: 1 BLOCK : 21 PLAN: 112 5850  
CIVIC ADDRESS: 120 RUE MONTALET  
SUBDIVISION: DANSEREAU MEADOWS  
MUNICIPALITY: BEAUMONT  
PREPARED FOR: SAMANTHA WOOD  
DATE OF SURVEY: JANUARY 20, 2021  
SCALE: 1:200 (UPDATED SEPTEMBER 4, 2024)

DATE OF TITLE SEARCH: AUGUST 27, 2024  
(copy on reverse)

ALBERTA LAND SURVEYOR'S CERTIFICATION:

I hereby certify that this Report, which includes the attached plan and related survey, was prepared and performed under my personal supervision and in accordance with the Alberta Land Surveyors' Association's Manual of Standard Practice and supplements thereto. Accordingly, within those standards and as of the date of this Report, I am of the opinion that:

- the plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, and registered easements and rights-of-way affecting the extent of the title to the Property;
- the improvements are entirely within the boundaries of the Property;
- no visible encroachments exist on the Property from any improvements situated on an adjoining Property;
- no visible encroachments exist on registered easements or rights-of-way affecting the extent of the Property.

**Purpose of Report:** This Report and attached plan have been prepared for the benefit of the Property owner, subsequent owners, and any of their agents for the purpose of (a land conveyance, support of a subdivision application, a mortgage application, a submittal to the municipality for a compliance certificate, etc.). Copying is permitted only for the benefit of these parties, and only if the plan remains attached. Where applicable, registered easements and utility rights-of-way affecting the extent of the Property have been shown on the attached plan. Unless shown otherwise, property corner markers have not been placed during the survey for this Report. The attached plan should not be used to establish boundaries because of the risk of misinterpretation or measurement error by the user.

The information shown on this Report reflects the status of this Property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

**This document is not valid unless it bears an original signature (in blue ink) and a Pals Geomatics Corp. permit stamp (in red ink).**

LEGEND:		
Ø	CONCRETE	◆ (CALC.)
ADJ.	DIAMETER	I. ●
BLD.	ADJACENT	OH
B.O.C.	BUILDING	■ R/W
B.O.W.	BACK OF CURB	R
DIST.	BACK OF WALK	(R) REF.
DEST.	DISTURBED	RES.
Fd.	DESTROYED	UTL
FOUND	FOUND	UNABLE TO LOCATE
FENCELINE	FENCELINE	WOOD
G	GARAGE	
INACC.	INACCESSIBLE	

Dated at: Edmonton, AB  
September 13, 2024

Ryan M. Pals, A.L.S.

NOTES:

- DIMENSIONS ARE SHOWN IN METERS AND DECIMALS THEREOF.
- DISTANCES ON CURVED BOUNDARIES ARE ARC DISTANCES.
- EAVES ARE MEASURED TO THE LINE OF THE FASCIA.
- DIMENSIONS ARE TO FOUNDATION WALLS.
- BUILDING HAS CLADDING.

**Pals Geomatics**  
Corp.

EMAIL: RPR@PALSGEOMATICS.COM 10704 - 176TH STREET NW  
TEL. (780) 455-3177 EDMONTON, ALBERTA T5S 1G7  
FAX: (780) 481-1301 DRAFTER: TT

July 23, 2025

## DEVELOPMENT PERMIT NOTICE

**A Development Permit has been approved for a property located near you.** The development permit is for an existing rear yard deck and accessibility ramp, with a variance to the minimum required rear yard setback for the Conventional Neighbourhood District.

**Location:** 120 Rue Montalet, Beaumont

**Legal description of this address:** Plan 112 5850, Block 21, Lot 1

**Permit Number:** DB-2025-474

**Land Use Bylaw:** Conventional Neighbourhood District

### Permit and Conditions

For more information regarding this Development Permit, permit conditions, or the Land Use Bylaw, contact the **Development Authority** who made the decision on this permit.

### Variances and/or Discretionary Use

Section numbers below refer to *Land Use Bylaw 944-19*

1. Section 3.3.6(a)(v) has been varied to allow the existing deck and accessibility ramp to encroach 3.54m into the required minimum 6.0m rear yard setback, which is a Discretionary Use in the Conventional Neighbourhood District.

### Land Use Bylaw 944-19

The Land Use Bylaw contains the rules and regulations for the development of land in Beaumont. For the purpose of land development, Beaumont is divided into districts. For further clarification visit [www.beaumont.ab.ca/landusebylaw](http://www.beaumont.ab.ca/landusebylaw).

Patricia Lauzé  
Development Officer  
780-235-8786  
[patricia.lauze@beaumont.ab.ca](mailto:patricia.lauze@beaumont.ab.ca)

### Appeals

You are being informed of this approved Development Permit that includes variance(s) and/or a discretionary use as listed above. You may appeal the decision to the **Subdivision and Development Appeal Board (SDAB) within 21 days of being notified. Development will continue if no appeals have been filed.** The SDAB is an independent body established by City

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Council. Its decisions are final and can only be overturned by the Courts if the Board makes an error of law or jurisdiction.

**Notification Appeal Period:** July 23, 2025 to August 13, 2025

To file an appeal or get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at [legislative@beaumont.ab.ca](mailto:legislative@beaumont.ab.ca). Appeals must be filed no later than 4:30 pm, August 13, 2025. Please visit our website for more details at [www.beaumont.ab.ca](http://www.beaumont.ab.ca).