

City of Beaumont Subdivision and Development Appeal Board Agenda

May 12, 2025 5:00 p.m. City Hall, Council Chambers

		Pages
1.	CALL TO ORDER (HEARING 25-03)	
2.	PURPOSE OF HEARING	
3.	INTRODUCTION OF BOARD MEMBERS AND CLERK	
4.	PRELIMINARY MATTERS	
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5.	HEARING PROCESS	
6.	DEVELOPMENT OFFICER PRESENTATION	
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	8.1 Applicant Submissions	130
9.	PRESENTATIONS FROM AFFECTED PERSONS	
	9.1 Presentations	
	9.1.1 Written Submissions	150
10.	CLOSED SESSION	

11. ADJOURNMENT

RECEIVED

APR 1 7 2025

NOTICE OF APPEAL SUBDIVISION AND DEVELOPMENT APPEAL BOARD

CITY OF BEAUMONT

In accordance with Sections 678 and 686 of the *Municipal Government Act* and the City of Beaumont Bylaw, as amended, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated timeframe and each Notice of Appeal must be accompanied by the legislated fee. For filling instructions and fee payment options, see revere side of form.

(Check one box only) (Check one box only) Approval Approval Stop Order Conditions of Approval Conditions of Approval Image: Stop Order Conditions of Approval Refusal Image: Stop Order SECTION 1- MUNICIPAL ADDRESS OF SITE UNDER APPEAL Image: Stop Order Image: Stop Order SECTION 1- MUNICIPAL ADDRESS OF SITE UNDER APPEAL Image: Stop Order Image: Stop Order Municipal Address of Site Under Appeal GOOD GOOD GOOD Application File # Image: Stop Order Image: Stop Order Date Appeal Application Received Image: PRIL Image: Stop Order SECTION 2 - APPELLANT INFORMATION Image: DeGRAME Appellant Name Image: DeGRAME	the de Lances de Lances a presente	Development Permit		Subdivision Application		Notice of Order	
Conditions of Approval Conditions of Approval Refusal Refusal SECTION 1 - MUNICIPAL ADDRESS OF SITE UNDER APPEAL Municipal Address of Site Under Appeal 6300 Application File # 2004 - 037 Date Appeal Application Received PPRIL 17, 2025 SECTION 2 - APPELLANT INFORMATION	(Check one box only)		(Check one box only)				
Refusal Refusal SECTION 1 - MUNICIPAL ADDRESS OF SITE UNDER APPEAL Municipal Address of Site Under Appeal 6202 6307 65 Struct, Burnent, I Application File # 2024 - 037 Date Appeal Application Received PPRIL 17, 2025 SECTION 2 - APPELLANT INFORMATION	Approval		Approval		Stop Order		
SECTION 1 - MUNICIPAL ADDRESS OF SITE UNDER APPEAL Municipal Address of Site Under Appeal 6707 6307 65 Struct, Barmont, 1 Application File # 7034 - 037 Date Appeal Application Received PPRIL 17, 2025 SECTION 2 - APPELLANT INFORMATION	Conditions of Approval		Conditions of Approval				
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Application File # 2024 - 037 Date Appeal Application Received PPRIL 17, 2025 SECTION 2 - APPELLANT INFORMATION					65 Street, Beaument,	AB	
SECTION 2 - APPELLANT INFORMATION	Application File #		2024-037		1		
SECTION 2 - APPELLANT INFORMATION	Date Appeal Application Re	aceived	APRIL 17, 2025				
		THEOL		_		_	
Appellant Name DOKEN DEGKATI							
	Appellant Name	- Aref.	oren degraaf			_	
Agent Name (if applicable)							
Address BEAUMONT, AIS	Agent Name (if applicable)						
Telephone Residential # Business # Business #	Agent Name (if applicable) Address				SEAUMONT, FUS		
Email (for notification purpose)	Address		sidential #				

SECTION 4 - PAYMENT (In accordance to Fees & Charges Bylaw, as amended) Money Order Debit Cheque Cash \Box

17/1/10

SECTION 5 - SIGNATURE & DECLARATION

I certify that the information given on this form is true and complete to the best of my knowledge and acknowledge my authorization of the information to be used to

SIGNATURE ? DATE: APRIL 17,2025
The personal information contained and the sound control on act and authority of the City of Beaumont SDAB Bylaw and the
Municipal Covernment Act (Sections 678 and 686) in accordance with the FOIP Act (Section 33(c)), for the purpose of handling
development appeals. This information is protected by the privacy provisions of the FOIP Act. If you have questions about the collection,
contact the FOIP Coordinator at the City of Beaumont, 5600 - 49 Street, Beaumont, Alberta T4X 1A1, or Phone 929-8782.
NOTE: This information will form part of the file available to the public.

FOR OFFICE USE ONLY						
Fee Paid	SDAB Appeal Number	Hearing Date	Date Received Stamp			
Yes 🗆 No 🗆						

SUBDIVISION AND DEVELOPMENT APPEAL BOARD

April 17,2025

City of Beaumont Subdivision and Development Appeal Board ATTN: SDAB Secretary 5600 49 Street

Beaumont, AB T4X1A1

As per direction from of Mayor WM.Daneluik, Beaumont City Council and city administration on the evening of Tuesday April 8th,2025 at council chambers. Please accept this letter of appeal for Application #2024-037, located at 6202 & 6302 65 Street, Beaumont, AB.

I wish to appeal this development permit as it did not provide an appropriate public hearing for affected residents adjacent to the development. The lack of a public hearing contravened numerous sections of "Our Zoning Blueprint" (Land Use Bylaw 944-19), adopted April 9,2019. The development also does not meet numerous objectives and principles of the Dansereau Meadows Outline Plan adopted June 02, 2017. No resolutions to the plan have been passed prior to this development plan approval. This development approval is in contravention to numerous policies stated in the Terms of Reference for Statutory and Non-Statutory Land Use Plans. This Document was adopted August 27,2020.

I have been advised on Monday April 14, 2025 that the approval for this development without a public hearing was based on their interpretation that requirements fell within the scope of Land Use Bylaw 944-19. As a result of their interpretation I wish to proceed with an appeal based on the above noted contraventions.

I look forward to your response,

Regards,		
auren de Graaf		
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City of Beaumont

5600 - 49 Street Beaumont, Alberta T4X 1A1 Phone: (780) 929-8782 Fax: (780) 929-8729 E-Mail: admin@beaumont.ab.ca

OFFICIAL RECEIPT 331402

BOUDREAU JAMES EDWARD C/O LAUREN DEGRAAF BEAUMONT, AB			Date: Apr 17, 2025 Initials: ZW
Receipt Type	Roll/Accou	nt Description	Outstanding Receipt Amount Before Pmt
General	DEVAP	DEVEL APPEALS- 20	
	Та	ax Amount:	\$0.00
	R	eceipt Total:	\$129.00
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			\$129.00
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Notice of Hearing

File: 0111-S01-SDAB-25-03

APPELLANT Lauren de Graaf APPLICANT

Chad Kuzio c/o VOSH Architecture & Design Inc.

RESPONDENT

Yasmin Sharp, Development Officer

RE:Appeal # SDAB-25-03
Proposed Development:Mixed Use Building: 54 Dwelling Units and 3 Commercial
Units (2 CRU's and 1 Education Use – Daycare Facility)Legal Description:Plan 242 2259 Block 25 Lot 201AMunicipal Address:180 Dansereau Way, Beaumont, AlbertaLand Use District:Integrated NeighbourhoodPermit Application No:2024-037

The Subdivision and Development Appeal Board (SDAB) has received an appeal of a decision of the Development Authority to approve a Development Permit for a Permitted Use within the Integrated Neighbourhood District - Mixed Use Building: 54 Dwelling Units and 3 Commercial Units, located at Plan 242 2259, Block 25, Lot 201A, Dansereau Way, Beaumont, AB.

The SDAB will hold the hearing as follows:

DATE:	Monday, May 12 th , 2025
TIME:	5:00 pm
LOCATION:	City Hall Council Chambers, 5600 – 49 Street, Beaumont

You or any person acting on your behalf may present verbal, visual, or written submissions to the SDAB at the hearing.

If you wish to submit visual or written material to the SDAB, please email your submissions to the clerk at <u>legislative@beaumont.ab.ca</u> no later than **end of day on May 6th, 2025**. All materials submitted will be included in the hearing package and will be distributed to the hearing participants in advance of the hearing.

The hearing materials will also be made available for public inspection by appointment during regular business hours (8:30 am to noon and 1pm to 4:30 pm, Monday to Friday) at the City Administration Building (5600 49 Street, Beaumont) beginning on May 7th, 2025. Please contact the clerk at <u>legislative@beaumont.ab.ca</u> to arrange an appointment.

ADDRESS 5600 49 Street Beaumont, Alberta T4X 1A1 PHONE 780.929.8782 EMAIL legislative@beaumont.ab.ca



Important Information:

- 1. Any visual or written material received by the clerk in advance of the hearing will form part of the public record and will be made available for public inspection pursuant to section 686(4) of the *Municipal Government Act*, RSA 2000, c M-26;
- 2. While the clerk of the SDAB will accept visual or written material in advance of the hearing, the decision on what materials will be considered by the SDAB remains with the SDAB; and
- 3. Depending on the complexity and volume of the materials submitted, there may be requests for adjournments which the SDAB would consider on a case-by-case basis.

You may participate in the hearing either in person or electronically. If you wish to participate electronically, contact the clerk in advance of the hearing date to receive the required instructions.

If you have questions, please contact the clerk at <u>legislative@beaumont.ab.ca</u> or call the City Hall main line at 780-929-8782.

Respectfully,



ADDRESS 5600 49 Street Beaumont, Alberta T4X 1A1 PHONE 780.929.8782 EMAIL legislative@beaumont.ab.ca

SUBDIVISION & DEVELOPMENT APPEAL BOARD HEARING SDAB- 25-03 May 12, 2025

DEVELOPMENT AUTHORITY'S REPORT

Permit Number:	2024-037
Decision:	Approved
Decision Date:	October 10, 2024
Subject Property:	180 Dansereau Way; previously 6202 & 6302-65 Street Plan 2422259, Block 25, Lot 201A
Land Use District:	Integrated Neighbourhood (IN) District
Outline Plan:	Dansereau Meadows Outline Plan
Site Size:	0.29 hectares
Subject Site Description:	The site is located along a minor collector road, 65 street (Dansereau Way), and was vacant at the time of application. Dansereau Meadows. The site is across from a stormwater management facility to the east and across the street from a Municipal Reserve parcel to the south. The site has rear lane access that is shared with surrounding low and medium density residential development.
Existing Development:	None
Proposed Development:	Four Storey Mixed Use Building: 54 Dwelling Units and 3 Commercial/Institutional Units including 1 Education Use (6,106 Ft ² /567.3m ²) and 2 Commercial Retail Units (1,525 Ft ² / 141.7m ² and 1,148 Ft ² /106.7m ²)

Introduction

This submission is made by the City of Beaumont Development Authority (DA) in response to the **appeal of the DA's approval of Development Permit** 2024-037 for a Four Storey Building consisting of 54 Dwelling Units, 1 Education Use, and 2 Commercial Use bays.

The purpose of this submission is to provide information regarding the application for the development permit and to explain the land use considerations underlying the Decision.

Development Appeals:

Section 685(3) of the Municipal Government Act (MGA) states:

Despite subsections (1) and (2), no appeal lies in respect of the issuance of a development permit for a permitted use unless the provisions of the land use bylaw were relaxed, varied or misinterpreted or the application for the development permit was deemed to be refused under section 683.1(8).

The following sections of the report detail the mixed-use development permit application to assert the following:

- 1. Development permit 2024-037 is for permitted uses,
- 2. Development permit 2024-037 includes no relaxations, variances or misinterpretations of the Land Use Bylaw.

A copy of Section 685 Ground for Appeal is provided in Exhibit 7.

Application:

The Development Authority received an application on April 12, 2024 for a four storey mixed use building with 3 commercial/institutional units on the main floor and 54 residential units located on floors 2 through 4 ranging from 36.8m² to 77.9m² in area. A copy of the approved development is attached as Exhibit 5.

The application was submitted by Chad Kuzio, VOSH Architecture and Design Inc. on behalf of Dalpreet Virdi, Virdi Engineering (Attachment 4). On April 29, 2024 the applicant was made aware of outstanding information including a Beaumont Urban Design Guideline (BUDG) Brief and minor corrections to submission materials. The application was deemed complete in accordance with S. 683.1 of the Municipal Government Act on May 6, 2024. The Notice of Decision was issued on October 10, 2024. Full application timeline is provided as Exhibit 1.

Consideration of the Development Permit Application

Use Definition: There are two Uses associated with the application.

- Dwelling Unit is a Permitted Use within the Integrated Neighbourhood District (LUB Section 3.4.2). Dwelling Unit is defined in Part 6: Definitions as: "a self-contained living premise with cooking, eating, living, sleeping and sanitary facilities for domestic use by one or more individuals."
- Education is a Permitted Use within the Integrated Neighbourhood District (LUB Section 3.4.2). Education is defined in Part 6: Definitions as:
 "a development of public and private places of learning for any age including licensed child care facilities and / or research facilities."

Two bays on the main floor were identified as commercial retail units (CRU), meaning that a use permit is required prior to occupying the area. It is therefore unknown whether the future use will be permitted or discretionary, until the time of application. The known uses, Education and Dwelling Unit

dictate how the application is classified, and which use standards apply. The building must meet all site regulations, regardless of proposed future use.

Development Authority's Determination

The fifty four (54) units within the mixed use building are considered dwelling units which is a permitted use in the Integrated Neighbourhood District.

Daycare is classified under the Education use which is a permitted use in the Integrated Neighbourhood District.

Based on the application for a Dwelling Unit and an Education Use, the DA determined that the intended uses meet the Land Use Bylaw 944-19 definition of Dwelling Unit and Education Use respectively.

Land Use Bylaw and Development Regulations

- The Land Use Bylaw in place at the time of application and approval is Bylaw 944-19 Our Zoning Blueprint: Land Use Bylaw (LUB). The Integrated Neighbourhood (IN) District uses and regulations have been amended two times since the issuance of permit 2024-037. A copy of the IN District from the Land Use Bylaw in effect at the time of the Development Authority's decision is attached as Exhibit 3.
- The subject lands are located within the Integrated Neighbourhood District
- A Dwelling Unit is a Permitted Use within the Integrated Neighbourhood District
- An Education Use is a Permitted Use within the Integrated Neighbourhood District
- The following sections were reviewed against this permit application and include how the DA determined compliance, or if a variance was required:

3.4.3 Use Standards:

The only uses standards for Dwelling Units are applicable to a dwelling unit above a detached garage and a temporary dwelling unit. The application is for dwelling units above commercial units on a permanent foundation. There are no use standards for the Education Use. Therefore, no use standards apply to the application under S. 3.4.3 of the Land Use Bylaw.

3.4.4 Block/ Subdivision Standards

The mixed-use application proposed that 6202 & 6302 - 65 street be developed as a single site with lot consolidation as a condition of development approval (condition 3, Exhibit 5).

a) Block length, the combined and contiguous frontages of one side of a block (from 62 Ave to 63 St), is a maximum of 240m. Lot consolidation has no impact on block length as approved in SDA-18-01 Dansereau Meadows Phase 7, SDA-18-07 Dansereau Meadows Phase 10, and SDA-21-07 Dansereau Meadows Phase 13A. The Development Authority regarded the block length maximum as not applicable, as the application proposes no changes to the block length.

b) Block & Subdivision Standards

i. Additional block length requirements.

Development Authority determined this regulation is not applicable as the block length was approved as part of the subdivision approval process and no changes are being proposed by the lot consolidation.

ii. Circumstances for block standard variation.

Approved through the subdivision process and not through a development permit application. Development Authority determined there are no changes to block length through consolidation.

iii. A minimum 40% of net development area within the land use district shall have rear **lanes as per the applicable...outline plan.**

Block where the site is located is accesses through a rear lane. Overall access and laneway locations for Dansereau Meadows neighbourhood is approved through the Outline Plan, no changes to laneway access are proposed by the lot consolidation.

iv. Shadow plans for future phases of development shall be required.

Development Authority determined this is not applicable as lot consolidation is an administrative process facilitated through the Land Titles Office and not through the City of Beaumont. Therefore, submission requirements are determined by Land Titles.

c) Lot width is a minimum 4.9 to max 15m except for multi-unit buildings or institutional uses where the lot width may be increased, at the discretion of the Development Authority.

Lot width is 73.84m after consolidation. The application is for a multi-unit building which includes an institutional use (Education), therefore, the Development Authority determined that a lot width exceeding 15m is consistent with the Land Use Bylaw requirements. The lot width regulation provides circumstances for the Development Authority to increase the maximum lot width requirement at its discretion. The application meets those circumstances; therefore, the application meets the lot width requirement and no variance is required.

3.4.5 Residential Density

a) Minimum

i) For built up areas: 1 dwelling unit(s) per lot

ii) For planned development: 35 units per net hectare or as per the applicable area structure plan, neighbourhood structure plan or outline plan. Shadow plans for future phased of development shall be required to demonstrate how the minimum density is achieved.

The application is considered under planned development as it is located within a neighbourhood that is undergoing subdivision and development guided by an Outline Plan (OP). The Dansereau Meadows Outline Plan (Exhibit 6) identifies estimated density through the Land Use & Population Statistics on page 11.

Dansereau Meadows OP Statistics

Land Use	Area (ha)	Units/ha	Units	People/Unit	Population
Mixed Use	0.3ha	40	12		36

The application includes 54 dwelling units on the 0.29ha parcel which results in a density of 186 dwelling units per hectare(du/ha). The density exceeds the 40du/ha (12 units) density outlined in the OP. The application meets the minimum density regulation.

b) Maximum no requirement

There is no requirement for maximum density, therefore the application meets the maximum density regulation.

3.4.6 Building Placement Standards

a) Principal Building

i. Principal Frontage	i. 3m Minimum
Setback	ii. Principal frontage setbacks shall be different from the adjacent lot for
	single detached dwellings.

The principal frontage setback for the mixed use building is 3m. Application is not a single detached dwelling, therefore the setback does not need to be different from the adjacent lot. Application meets the minimum setback requirement.

ii. Secondary Frontage Min 2.4m when adjacent to a public roadway or 1.2m when adjacent to a lane to a max 4m.

The secondary frontage, located on the west side of the property, is adjacent to a public roadway (62 Avenue) and has a setback of 4.0m. The secondary frontage exceeds the minimum and meets the maximum setback; the application meets the setback requirement.

ii. Side Yard Setback Min 1.2 m to max 4 m except for attached buildings where side yard setback is 0 m on the attached side.

The side yard, located on the east side of the site, adjacent to a private parcel, has a setback of 2.1m. The application meets the side yard setback regulation.

v. Rear Yard Setback Min 1.2

The rear yard setback is 13.5m and meets the minimum requirement.

- b) Accessory Building Site Standards there are no accessory buildings included in the permit application, therefore, the regulations are not applicable.
- c) Additional Site Standards
 - i. Corner Visibility No building, structure, fence, or soft landscaping that will obstruct vision above 0.6 m in height shall be located within the corner cut area.

There are no structure located within the corner cut (southwest corner of site); application meets the regulation.

ii. General Safety Design elements that allow for casual surveillance, not including digital surveillance, are expected to be included in the design. These elements may include, but are not limited to, door placement, large window areas, high quality interior and exterior lighting, a physical layout that reduces the vulnerability of pedestrians, the placement and use of soft landscaping that limits areas of concealment, and integrating the pedestrian network with building entrances

Over 53% of the south frontage (ground floor) is composed of glazed windows and doors providing casual surveillance for the pedestrian network adjacent to the site. The rear elevation includes 30 balconies located on the second to fourth floors in addition to a daycare play area providing casual surveillance to the parking lot. Landscaping is located along the perimeter and is provided in accordance with the Land Use Bylaw requirements. Development Authority determined that the application meets the general safety design standards.

iii. Lighting- All permanently installed lighting shall be directed downward, be shielded in a manner to not be directed to adjacent lots, and shall not, in the opinion of the Development Authority adversely impact safety. All permanently installed lighting shall be compliant with International Dark-Sky Association requirements.

Development is illumined by two types of wall mounted lights and pole lights. The specifications confirm that all three light standards are directed downward. Lighting plan indicates lux values that range from +0.13 to +2.7 providing adequate visibility while reducing adverse impacts to adjacent properties. Development Authority determined permanently installed lighting meets the regulations.

v. Solid Waste - All non-residential uses shall provide a solid waste storage area suitable for 2- or 3 stream waste diversion for the intended use and designed to the satisfaction of the Development Authority. All areas shall be located at the side or rear of a lot, screened from view and accessed from a public roadway or lane.

The application provides 2 stream solid waste storage located in the rear of the lot. Moloks are designed so that the portion of waste storage above grade is screened as part of the design. Application meets the regulation.

3.4.7 Building Profile Standards

a) Principal Building Height to Eave Max 4 storeys

In addition to the above regulation, the definition of storey outlines that the maximum height of a storey is 4.5m The mixed use building is 4 storeys with heights that range from 3m-4.23m as seen below.

Floor/Storey	Height
Ground floor (14ft)	4.23m
2 nd Floor (10ft)	3m
3 rd Floor (10ft)	3m

Top Floor to Eave (9ft)	2.7m
Total:	12.93m

The application meets the regulation.

- b) Design Standards
 - i. The finish and appearance of all buildings on the lot, including accessory buildings, shall complement the other structures and natural features located on the same lot.

The mixed use building is the only building on the lot, the regulation is not applicable.

ii. The design of dwellings must ensure individuality and a variety of dwellings. This will require consideration of the exterior treatment of materials, textures, rooflines and wall openings on the same side of the public roadway, as well as directly across the public roadway from one another. Design variability for the principal dwelling shall follow an A B C D A pattern along the block.

The materials and architectural details on the south elevation are entirely distinct from the adjacent medium density dwelling units as they are distinct building typologies, the application meets the regulation.

iii. Mechanical equipment shall be screened or incorporated into the roof envelope, where appropriate.

Mechanical equipment is incorporated into the roof envelope with additional screening provided by the metal cladded mansard peaks visible across the top of the south elevation; the application meets the regulation.

iv. Buildings on prominent corner lots shall have the same materials and architectural details on all street exposures. Entrances may be located near the corner.

South elevation (65 street/Dansereau Way) includes grey stone vaneer, aged and arctic white hardie architectural panel with 53% of the façade consisting of glazed windows and doors. The west elevation (62 Avenue) includes aged pewter and arctic white hardie architectural panel and stone veneer with 56% of the façade consisting of glazed windows and doors. The metal cladded mansard peaks are only located along the south and west elevations. Given the use of the same materials and architectural details, the application meets the regulation.

v. No tarpaulin structures.

There are no tarpaulin structures proposed; meets the regulation.

3.4.8 Frontage Type Standards

The application is considered a stoop frontage type where the first storey is elevated from grade. There are 6 sets of stairs and two ramps that provide access to the first storey commercial and institutional uses.

Entrance Feature Characteristics

i. Width – from outside edge of building element included in the entrance feature – minimum 1.8m (not including stairs or accessibility feature)

From west to east the entrance feature widths are 2m, 5m, 5m, 9m, 3m, 3m and 2.3m; the application meets the regulation.

ii. Depth – Exterior foundation projection of the entrance feature – 2m max

The depth of each foundation projection of the entrance feature is 2m; meets the regulations.

iii. Height from grade to highest point of the entrance feature – aligned with floor height.

First floor height is 4.23m, entrance features include 3m of glazing, 0.8m metal band or rock vaneer topped with 0.4m x 1.5m black metal cladding canopy; entrance feature is aligned with floor height and meets the regulation.

iv. Projections, such as awnings, that overhang the entrance feature may be considered, but shall not be more that 4m from the floor height.

The entrance feature has a 2m depth and the canopy has a 1.5m depth therefore it cannot be considered to overhang the entrance feature and is not limited by the maximum 4m height; application meets the regulation.

3.4.9 Landscaping & Screening Standards

a) Development Standards All landscaping shall comply with the General Design Standards except where Frontage Type Standards in Section 3.4.8 take precedence. Where possible use plants with seasonal interest. Drought tolerant plants are encouraged.

The General Design Standards outlines landscaping requirements for public open space, school & park space as well as sports fields. As the application does not fall under those categories, the Land Use Bylaw takes precedence. Section 3.4.8 e) Stoop Frontage Standards does not include landscaping requirements; meets the regulation.

b) Mandatory Requirement Any portion of a site not occupied by a structure, parking area, patio, walkway, or storage area shall be landscaped.

All portions of the site not occupied with the above-listed elements is landscaped with trees, shrubs, planting beds or sod; meets the regulation.

c) Number of Trees All lots greater than 2,500 m² shall be required to provide a minimum of 1 tree per 35 m², based on 10% of the site, where 40% of those trees shall be coniferous, except for municipal reserve land. Unless otherwise provided for by a frontage standard, all lots less than 2,500 m² shall be required to provide a minimum of 3 trees, except for municipal reserve land.

Site is 2,972m², 10% of the area is 297.2m². One tree per 35m² of 297.2m² area is equal to 9 trees. The applicant has provided 9 trees, 4 of which are coniferous (44%); the application meets the regulation.

d) Tree Size At the time of planting each coniferous tree shall be at least 2.0 m in height and each deciduous tree shall have a caliper of at least 50 mm.

Size of trees will be confirmed at the time of landscaping inspection and a requirement prior to the release of landscaping securities outlined within the Development Agreement (condition 4, Exhibit 5). Non-compliance will require re-planting to standard.

e) Tree Location Where tree requirements are specified in the Frontage Type Standards, as per Section 3.4.8, the total number of trees required for the remainder of the lots hall be subtracted by those trees to be located in the principal frontage.

Section 3.4.8 e) Stoop Frontage Standards does not include landscaping requirements within the principal frontage; meets regulation.

f) Number of Shrubs All lots greater than 2,500 m², shall be required to provide a minimum of 1 shrub per 35 m², based on 10% of the site, except for municipal reserve land. Unless otherwise provided for by a frontage standard, all lots less than 2,500 m² shall be required to provide a minimum of 5 shrubs, except for municipal reserve land.

Site is 2,972m², 10% of the area is 297.2m². One shrub per 35m² of 297.2m² area is equal to 9 shrubs. The applicant has provided 11 shrubs; meets the regulation.

g) Shrub Size At the time of planting each shrub shall be at least 300 mm deciduous height or 450 mm coniferous spread.

Size of shrubs will be confirmed at the time of landscaping inspection and a requirement prior to the release of landscaping securities outlined within the Development Agreement (condition 4, Exhibit 5). Non-compliance will require re-planting to standard.

h) Soil Requirements A minimum of 15 cm of high-quality soil and growing material is required for all planting areas.

Approved landscape details show typical tree installation and planting bed installation which indicates the use of fertile agricultural soil to a depth that exceeds the 15cm minimum; meets the regulation.

 Fencing / Screening A fence, wall, or screening may not exceed 1.0 m within a principal frontage or 1.8 m in height on any other portion of the lot. A permit is required for a fence exceeding 1.0 m in height on a secondary frontage.

There are no fences along the primary or secondary frontage and the fence along the perimeter of the daycare outdoor space is a 1.8m wood fence; meets the regulation.

3.4.10 Parking, Access & Loading Standards

a) Minimum Parking Standards

ii. Residential Uses – Dwelling Unit(s) – 1 stall per unit over 75m²

The following table summarizes the number and size of dwelling units and associated parking requirements based on the above regulation.

Dwelling Unit	Number of	Parking Stalls
Size	Units	Required
36.8m²	3	0
48.1m²	15	0
40.7m ²	3	0
48.8m²	3	0
51.3m²	3	0
68.9m²	6	0
72.2m ²	12	0
70.5m²	3	0
71.8m ²	3	0
77.9m²	3	3
Total:	54	3

b) Minimum Parking Standards

vii. Institutional Uses – Education – 2 stalls per 100m² of lot coverage

Lot coverage is defined as the portion of the lot area covered by all covered structures. The daycare outdoor space is uncovered and therefore not considered part of the lot coverage.

Daycare lot coverage is 567.3m² and 2 stalls per 100m² is equal to 12 stalls (2*5.673=11.34). The Education (daycare) use requires 12 stalls to meet minimum parking regulations

The uses of the remaining 2 CRU units is unknown. The most intensive minimum parking requirement within the Institutional, Commercial and Business use classes is 2 stalls per 100m² of lot coverage.

CRU 1 - 141.7m² CRU 2 - 106.7m² Total: 248.4m²

Number of parking stalls required, assuming the most intensive future use is 5 stalls (2*2.48=4.96)

Minimum parking requirements for the site is:

Dwelling Unit(s)	3 stalls
Education Use	12 stalls
Commercial Retail Units (CRU)	5 stalls
Total:	20 stalls

The minimum required parking is 20 stalls, and the applicant has provided 33 parking stalls; meets the regulations.

- c) Parking Standards
 - i. Development Standards Any parking area having four or more parking stalls that are visible from an adjoining site, or from a thoroughfare other than a lane, shall have perimeter planting. The location, length, thickness and height of such perimeter planting at maturity shall, in conjunction with a change in grade or other natural or man-made features, be sufficient to provide substantial interruption of the view of the parking area from any adjoining site and enhance the view of the parking area from any adjacent thoroughfare.

There are 3 coniferous trees with a growth potential of 6m height and 2.5m diameter, along with 3 shrubs, along the secondary frontage providing visual separation from the parking lot to the thoroughfare (6 Avenue). The parking area is screened to the east with the exterior daycare area which provides separating and screening through a 1.8m wood fence. Application meets the regulation.

ii. Pedestrian Network Design Parking lots shall be designed to efficiently, comfortably, and to safely direct pedestrians from parking areas and entrance features. Walking areas shall be a minimum of 2 m wide, be well marked, be separated by grade from driving or parking areas, and be integrated with landscaping. Parking lots shall not be located in the principle frontage.

Parking area is located in the rear of the lot. All walkways are a minimum 2m in width and separated from grade. A 2m raised walkway is provided within the parking lot to slow traffic and providing a defined pathway for pedestrians moving from the back stalls to access the mixed-use building. Application meets the regulation.

iii. Parking Location All parking stalls shall be provided on-site except where, at the discretion of the Development Authority, street parking may be accommodated. Street parking can be considered where the curb frontage is a minimum of 6.m per stall excluding access locations and appropriate safety distances. Where contiguous curb frontage space is available, street parking may be considered part of the minimum parking requirements as per Section 3.4.10 (a).

All 20 required parking stalls are provided on site. The frontage allows for additional street parking, however, this was not considered as part of the approval. Application meets the regulation.

iv. Shared Parking Where multiple buildings or uses are located on a site, parking minimums in Section 3.4.10 (a) may be reduced to the satisfaction of the Municipality.

The parking requirements have not been reduced. Regulation is not applicable.

v. Parking Lot Size A maximum of 50% of the site can be used to accommodate parking. Where parking requirements in Section 3.4.10 (a) exceed this amount, a strategy for reducing the parking need shall be provided.

The parking area is 1,099m² in comparison of an overall site area of 2,972m². Parking area represents 37% of the site and meets the regulation.

vi. Accessible Vehicle Parking For all lots with 11 or more vehicle parking stalls, accessible parking shall be provided in a location with the easiest pedestrian access to the principal building entrance and shall be provided in accordance with the Barrier Free Design Guide as per the Alberta Safety Codes Council.

Two (2) accessible parking stalls are required for parking lots with 26-50 stalls, in accordance with Alberta Safety Codes. Two (2) accessible stall have been provided, application meets the regulation.

vii. Parking Structure Design Accesses shall be designed as an integral part of the building façade so they are in scale and character with the rest of the building. Accesses shall not interfere with pedestrian movement.

Parking is provided through a surface lot and not through a structure with parking separated by grade. Regulation is not applicable.

viii. Parking Lot Stall Location Parking stalls shall be spread out through the site and integrated with buildings and landscaping to provide a comfortable pedestrian network.

Parking is spread throughout the rear of the site and bounded by landscaping along the perimeter which defines access and separation for pedestrians; application meets the regulation.

ix. In addition to the landscape requirements in Section 3.4.9 in no case shall there be less than 1 tree and 3 shrubs per landscaped island.

There are no landscaped islands on the site; regulation is not applicable.

x. Calculations Where a fractional figure occurs, the requirement shall be rounded up to the next whole number.

Non-residential parking requirements have been rounded from 11.34 and 4.96 to 12 and 5 respectively, application meets the regulation.

- d) Bicycle Parking Standards
 - i. Development Standards Bicycle parking structures shall be highly visible and shall include a permanent rack or hook-up system. Creative integration with the development is encouraged.

Bicycle parking is provided in the frontage as a permanent system, in the middle of the site, adjacent to the largest entrance into the mixed-use building; meets the regulation.

ii. Minimum Bicycle Parking All non-residential building less than 4,600 m² shall provide parking for at least 6 bicycles per building. All non-residential building greater than or equal to 4,600m² shall provide parking for 6 bicycles per entrance.

Non-residential area of the building is 815.7m² and therefore requires 6 bicycle parking stalls per building. Three (2) bicycle racks are provided, which can accommodate one bike on each side totaling 6 bicycle parking stalls, application meets the regulation. iii. Bicycle Parking Location All bicycle parking structures shall be located within 10 m of a public entrance, but shall not impede pedestrian circulation or access to a building.

Bicycle parking is located 2.6m from a public entrance, adjacent to a ramp and two staircases which provide several options for pedestrian circulation that do not interface with the bicycle parking, application meets the regulation.

iv. Bicycle Parking Access Where a change in grade occurs in the bicycle parking network, ramps or similar structures shall be used to access all bicycle parking structures.

Bicycle parking is accessible from a ramp with an 8% slope, meets the regulation.

- e) Access Standards
- i. Number of Accesses All lots require a minimum of 1 access to the site from a legal and physical public roadway and shall be approved by the Municipality. Additional accesses shall have prior approval from the Development Authority.

Site has 2 accesses from a legal and physical public roadway (rear lane), approved by the Development Authority to support site circulation; application meets the regulation.

ii. Lane Access Lots fronting an arterial roadway shall be required to have access from a rear lane. Where the site is adjacent to a lane, the lane will be used for all vehicular access unless otherwise authorized by the Municipality, such as where a front attached garage frontage type is used with a lane.

Site is adjacent to a lane and has access from said lane, meets the regulation.

iii. Shared Access Shared access between 2 or more adjacent lots may be considered to provide more effective access arrangements, to reduce curb cuts, and / or to reduce any negative impact on the public realm.

Accesses are not shared, as the parcel has been consolidated; regulation is not applicable.

- f) Loading Standards
- i. Development Standards All non-residential usesshall provide sufficient space and access for loading vehicles to the satisfaction of the Development Authority.

A loading space has been provided in the rear lot which maintains a drive aisle and parking access; application meets the regulation.

ii. Clearance All loading areas shall provide a minimum of 5.3 m vertical clearance from grade.

There are no structures that overhang the loading area; application meets the regulation.

iii. Loading Space Size All loading space shall be at least 4 m wide and 8 m long

Loading space is 4m wide by 8m long; meets the regulation.

iv. Access shall be from a public road, a lane, or a clearly defined traffic aisle, and shall not obstruct patron / emergency vehicle circulation.

Access to the loading space is provided from the lane and does not obstruct patron or emergency vehicle circulation. Fire hydrants are located off the thoroughfare which serves as primary access for fire trucks; application meets the regulation.

v. Location Loading areas shall be located to the side or rear of a lot

Loading area is located at the rear of the lot; meets the regulation.

Development Permit Issuance

Based on the above considerations and determinations, on October 10, 2024 and subject to the conditions set out in the development permit, the Development Authority approved the mixed use building as a permitted use with no variances in the Integrated Neighbourhood District in accordance with the LUB.

Dansereau Meadows Outline Plan

An Outline Plan is a non-statutory plan that provides land use and servicing frameworks for future **subdivision and development within neighbourhoods. These frameworks are consistent with the City's** Municipal Development Plan land use policies as well as other relevant municipal policies and plans at the time of adoption. In Beaumont, Outline Plans are approved by Council through Resolution following a Public Hearing and public engagement process.

The subdivision of the subject parcel and the redistricting of the site to Integrated Neighbourhood (IN) District were approved in alignment with the Dansereau Meadows Outline Plan.

At the development permit stage, the Land Use Bylaw regulations become the standards to which an application for a permitted use is evaluated against. One (1) development regulation in the IN District references required compliance to the applicable outline plan:

a) Minimum Residential Density

i) For built up areas: 1 dwelling unit(s) per lot

ii) For planned development: 35 units per net hectare or as per the applicable area structure plan, neighbourhood structure plan or outline plan. Shadow plans for future phased of development shall be required to demonstrate how the minimum density is achieved.

Alberta's Municipal Government Act requires that a framework for subdivision and development describe the density of population proposed for the area either generally, or with respect to specific parts of the area. Density and population statistics shown in outline plans are estimates used for the planning of services and infrastructure, such as calculating the student population to plan for future schools, or anticipated traffic volumes to help determine the transportation requirements. The density described is a minimum threshold, rather than a maximum.

The Dansereau Meadows Outline Plan estimates a density of 40 units per hectare and a corresponding population of 36 residents for the mixed-use area. As this is the minimum, the Dansereau Landing project is considered to meet the development requirements. No amendments to the Outline Plan were required to facilitate the development. Based on the Land Use Bylaw regulations at the time of approval, an OP amendment would only be considered if the application proposed a density less that 40 du/ha.

Issuance of Development Permit for a Permitted Use

The Municipal Government Act (S. 642, Exhibit 7) states that all applications for a permitted use that meet the district requirements must be approved with or without conditions.

The development authority is not legally able to add conditions that would require the applicant to do things that are beyond the requirements of the development standards set out in the land use bylaw.

For permitted uses, the applicant is entitled the right to a permit, if the project meets the bylaw requirements. Public notification is not required.

Based on the above considerations and determinations, the DA approved the application for a four storey mixed-use building consisting of 54 Dwelling Units and 1 Education Use at 180 Dansereau Way, in accordance with the LUB.

Conclusion

The application for 2024-037 Mixed Use Building: 54 Dwelling Units and 3 Commercial/Institutional Units including 1 Education Use and 2 Commercial Retail Units, considered under the IN District was approved with conditions by the DA for the following reason(s):

- 1. The application was for permitted uses (Dwelling Unit(s) and Education),
- 2. The application did not include any variances to the regulations of the IN District within the Land Use Bylaw, and therefore,
- 3. The Development Authority must, under S. 642 of the Municipal Government Act, issue the development permit with or without conditions.

Exhibits:	1.	Timeline
	2	Leastien

- 2. Location Map
- 3. Zoning Regulations

- Development Permit Application Notice of Decision 2024-037 4.
- 5.
- Dansereau Landing Outline Plan 6.
- Sections 685 and $\widetilde{6}42$ of the Municipal Government Act 7.

Development Permit 2024-037 Dansereau Landing Timeline

Application and Approvals				
April 12, 2024	Application Received by the City of Beaumont			
May 6, 2024	2024-037 Deemed Complete			
October 10, 2024	Development Permit 2024-037 Issued			
December 3, 2024	Development Agreement Executed			
January 24, 2025	Building Permit 2024-134 Issued			
Construction Com	mencement			
January 28, 2025	Site Works Commencement (Stripping & Grading)			
February 10, 2025	Foundation Work Commencement			
Notification				
October 25, 2025	Development Permit Decision Posted on City of Beaumont Website			
March 18, 2025	Frequently Asked Questions Resource Posted on Website			
Resident Commur	nication			
March 4, 2025 -	Emails addressed to Mayor, Council and/or Administration			
Present	expressing objections to the development and requesting a Stop Work Order			
April 8, 2025	Open Forum presentation from a member of the public to Council			
April 14, 2025	Meeting between City Administration and Dansereau Steering Committee			
Appeal				
April 17, 2025	Subdivision and Appeal Board (SDAB) Clerk Received Notice of Appeal			
April 22, 2025	Notice of Hearing SDAB-25-03			
May 12, 2025	SDAB Hearing			



180 Dansereau Way Location Map

Legend



Registered Parcels

City of Beaumont 5600 49 Street Beaumont, AB T4X 1A1

180 DANSEREAU WAY			
Application No.	Марр	oed By:	Checked By:
SDAB-25-03 Yasm		n Sharp	
Numeric Scale			Date
1: 5322			May 2, 2025
Projected Coordinate System			
CANADA NAD 83-3TM 114			

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

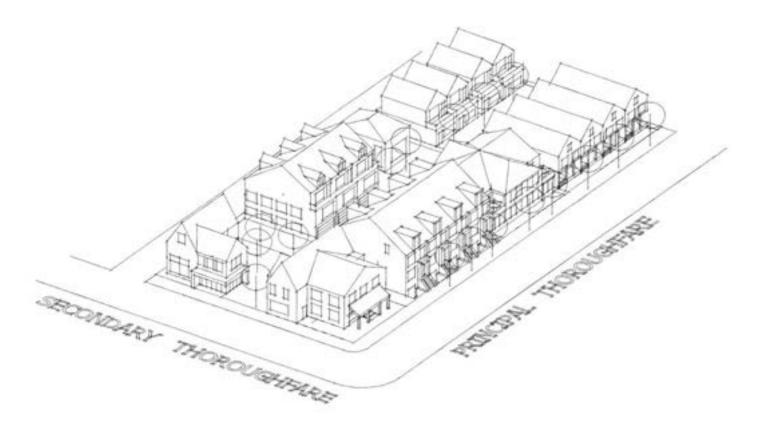
3.4 INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

3.4.1 Intent

General Intent: To provide a variety of housing options with integrated local commercial and business opportunities, primarily in greenfield areas.

How uses are mixed: <u>Uses</u> shall be primarily residential with opportunities for walkable local commercial or businesses to be spread out throughout the district, such as corner stores or a local restaurant.

Form of Development: Lot widths shall vary within an interconnected street network to enable different residential options on a <u>block</u>. Except in locations that have already been approved or a comprehensive <u>site</u> with an internal street system, rear lanes shall be mandatory for parts of the district to enable long term design flexibility of each <u>lot</u> and the overall neighbourhood.



INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

3.4.2 Uses

The <u>uses</u> identify whether a <u>use</u> is permitted, discretionary, or not allowed in this <u>land use district</u>. Definitions are provided in Part 6.

AGRICULTURE USES	
Agriculture - General	-
Agriculture – Intensive	_
Agriculture – Urban	P
Cannabis Production and Processing	-
Medical Cannabis Production	-
RESIDENTIAL USES	
Dwelling Unit(s)	Р
Mobile Home	-
Temporary Dwelling Unit(s)	D
LODGING USES	
Bed & Breakfast	D
Campground	D
Hotel / Motel	-
BUSINESS USES	
Arts & Crafts	D
Home Based Business - Major	D
Home Based Business - Minor	Р
Office	Р
COMMERCIAL USES	
Adult Entertainment	-
Drive Through Facility	-
Entertainment Establishment	D
Gas Station	-
Golf Course	D
Kennel	
Restaurant / Café	D
Restricted Substance Retail	-

<u>Retail & Service - General</u>	Р
<u>Retail & Service – Large</u>	-
Show Home	Р
INDUSTRIAL USES	
<u>Industrial – Medium</u>	-
Industrial – Light	-
Recreational Vehicle Storage	-
Wash Station	-
INSTITUTIONAL USES	
<u>After Life Care</u>	D
Cemetery	-
Culture	Р
Education	Р
Government	Р
<u>Hospital</u>	Р
Human Services	D
Recreation - Active	Р
Recreation - Passive*	Р
Parking Lot with no associated Use	-
Special Events	D
OTHER USES	
Accessory Building or Structure	Р
Public Utility*	Р
Excavation, Stripping & Grading	D
Private Utility*	Р
Sign (as per Part 4)	P/D
Temporary Development	D
*No <u>Development Permit</u> required	

P = <u>Permitted Use</u> D = <u>Discretionary Use</u> - = Not allowed

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INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

3.4.3 Use Standards

a)	Bed & Breakfast	i.	The <u>use</u> shall be restricted to <u>dwelling unit(</u> s);
		ii.	The character or external appearance of the <u>building</u> shall not
			be changed, except where minimal <u>alterations</u> are required
			for the <u>use</u> ;
		iii.	Nuisances, in the opinion of the <u>Development Authority</u> , shall
			not be created by way of noise, parking, or traffic generation;
			and
		iv.	1 <u>sign</u> shall be permitted.
b)	Campground	i.	Campgrounds shall be in accordance with the Our Place and
			Play Master Plan,
		ii.	Where possible, existing topography and natural features
			such as tree stands, shall be integrated in the <u>site</u> design;
		iii.	The whole perimeter of the \underline{site} shall be buffered sufficiently at
			the discretion of the <u>Development Authority;</u>
		iv.	No outdoor speakers are permitted; and
		٧.	Nuisances, in the opinion of the <u>Development Authority</u> , shall
			not be created by way of noise, parking, or traffic generation.
c)	Dwelling Unit above a	Whe	ere a <u>dwelling unit</u> is located above a detached garage, windows
	detached garage	shall	be placed and sized such that they minimize direct views of
		<u>adja</u>	<u>cent lot(</u> s) through one or more of the following:
		i.	Off-setting window placement to limit direct view into a
			window of an <u>adjacent site</u> ;
		ii.	Strategic placement of windows in conjunction with
			landscaping features; and/or
		iii.	Placing larger windows to face a lane, flanking public roadway
			or other dwelling on the same <u>site</u> .
	d) Home Based Business	i.	Up to 10 clients per day are permitted;
	<u>– Major</u>	ii.	May include a <u>day home;</u>
		iii.	1 non-illuminated <u>sign</u> shall be permitted;
		iv.	May include outdoor activities that do not cause a nuisance
			for adjacent lots, in the opinion of the Development Authority;
			and
		v.	
		v.	and

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

e)	Home Based Business - Minor	 i. No client visits are permitted; ii. The residential character of the <u>building</u> shall not be affected; iii. Shall be contained within a <u>building</u>; iv. No <u>signs</u> are permitted; and v. No accessory <u>structures</u> can be utilized for the purpose of the <u>use</u>.
f)	<u>Restaurant / Café</u>	Outdoor speakers shall comply with any noise restrictions set by the <u>Municipality</u> .
g)	<u>Temporary Dwelling</u> <u>Unit</u>	Cannot include recreational vehicles or and shall be greater than 10m².

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

3.4.4 Block / Subdivision Standards

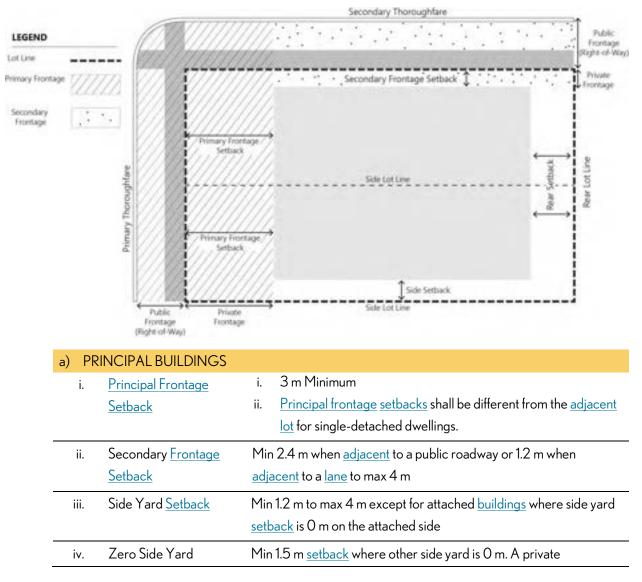
a)	<u>Block Length</u>	Max 240 m		
a) b)	Block Length Block & Subdivision Standards	 Max 240 m i. To create a pedestrian network throughout Beaumont a midblock pedestrian walkway shall be dedicated as a right-of-way where the block length exceeds 240 m. The location of the right-of-way cannot be located within 75 m of the ends of the block length. With the addition of the right-of-way, the new block length shall not exceed 240m. At the discretion of the Development Authority, lots adjacent to arterial roads or highways may not be required to include a pedestrian right-of-way, or where the topographic changes, existing buildings or other natural or man-made obstructions prevent such access, and where strict compliance would pose a safety hazard. ii. Block standards may be varied to conform to natural features, transportation rights-of-way, parks or open space, existing utilities, or other similar constraints. iii. A minimum of 40% of net developable area within this land use district shall have rear lanes as per the area structure plan, neighbourhood structure plan, and / or outline plan. Net developable area does not include lots adjacent to storm water 		
		 utilities, arterial roads, highways, or similar circumstances, including but not limited to <u>public utility</u> lots, municipal reserves, and environmental reserves. iv. Shadow plans of future phases of development shall be required to demonstrate how the minimum percentage of rear lanes is 		
	L _1 \A/: Jub	achieved. Mir 4.0 as to arou 15 as support for an Ui writhwildings an institutional		
c)	<u>Lot Width</u>	Min 4.9 m to max 15 m except for multi-unit <u>buildings</u> or institutional <u>uses</u> where the <u>lot width</u> may be increased, at the discretion of the <u>Development Authority</u> .		

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

a) Minimum	i. For built up areas: 1 <u>dwelling unit(</u> s) per <u>lot</u>
	ii. For planned development: 35 units per net hectare or as per the
	applicable <u>area structure plan, neighbourhood structure plan,</u> or
	outline plan. Shadow plans of future phases of development shall
	be required to demonstrate how the minimum <u>density</u> is
	achieved.
b) Maximum	No requirement

3.4.5 Residential Density

3.4.6 Building Placement Standards



INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

a) l	PRINCIPAL BUILDINGS	
	Standards	maintenance easement shall be registered on titles adjacent to the
		zero lot line that provide a 0.30 m <u>eave</u> encroachment easement
		where no <u>eave</u> shall be closer than 0.90 m to the <u>eave</u> of the
		adjacent building; a 0.60 m footing encroachment easement, and
		provides sufficient access for maintenance of both properties. All
		utilities and <u>lot grading</u> shall be to the satisfaction of the
		Development Authority.
۷.	Rear Yard <u>Setback</u>	Min 1.2 m
vi.	Lot Coverage	Max 55% (including accessory <u>building lot coverage</u> as per Section
		3.4.6 (b) (v))

b) AC	CCESSORY BUILDINGS	
i.	<u>Principal Frontage</u> <u>Setback</u>	Min 3 m and no closer than the <u>principal building</u>
ii.	Secondary <u>Frontage</u> <u>Setback</u>	Min 2.4 m
iii.	Side Yard <u>Setback</u>	Min 1.2 m, except for attached $\underline{buildings}$ where side yard $\underline{setback}$ is 0 m
iv.	Rear Yard <u>Setback</u>	Min 1.2 m
٧.	Lot Coverage	Max 15%, except for multi-attached <u>accessory buildings</u> on internal <u>lots</u> may be increased to a maximum of 17% at the discretion of the Development Authority.

c)	ADDITIONAL SITE STANDARDS				
	i.	Corner Visibility	No <u>building</u> , <u>structure</u> , <u>fence</u> , or <u>soft landscaping</u> that will obstruct vision above 0.6 m in height shall be located within the <u>corner cut</u> area.		
	ii.	General Safety	Design elements that allow for casual surveillance, not including digital surveillance, are expected to be included in the design. These elements may include, but are not limited to, door placement, large window areas, high quality interior and exterior lighting, a physical layout that reduces the vulnerability of pedestrians, the placement and <u>use</u> of <u>soft landscaping</u> that limits areas of concealment, and		

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

c) ADI) ADDITIONAL SITE STANDARDS					
	integrating the pedestrian network with building entrances.					
iii.	Lighting	All permanently installed lighting shall be directed downward, be shielded in a manner to not be directed to <u>adjacent</u> lots, and shall not, in the opinion of the <u>Development Authority</u> adversely impact safety. All permanently installed lighting shall be compliant with International Dark-Sky Association requirements.				
iv.	Vehicles	Dismantled or wrecked vehicles and <u>commercial vehicles</u> are prohibited from parking in a <u>frontage</u> . All vehicles shall be parked on a <u>parking stall</u> .				
v.	Solid Waste	All non-residential <u>uses</u> shall provide a solid waste storage area suitable for 2- or 3-stream waste diversion for the intended <u>use</u> and designed to the satisfaction of the <u>Development Authority</u> . All areas shall be located at the side or rear of a <u>lot</u> , screened from view and accessed from a public roadway or <u>lane</u> .				

3.4.7 Building Profile Standards



b) Accessory <u>Building Height</u> Max 2 <u>storeys</u> but in any event, no taller than the <u>principal building</u>. to <u>Eave</u>

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

	Desite a Standarda	i.	The finish and appearance of all buildings on the lot, including
c)	Design Standards	1.	
			accessory <u>buildings</u> , shall complement the other <u>structures</u> and
			natural features located on the same <u>lot</u> .
		ii.	The design of dwellings must ensure individuality and a variety
			of dwellings. This will require consideration of the exterior
			treatment of materials, textures, rooflines and wall openings on
			the same side of the public roadway, as well as directly across
			the public roadway from one another. Design variability for the
			$\underline{principal}$ dwelling shall follow an A B C D A pattern along the
			<u>block</u> .
		iii.	Mechanical equipment shall be screened or incorporated into
			the roof envelope, where appropriate.
		iv.	Buildings on prominent corner lots shall have the same
			materials and architectural details on all street exposures.
			Entrances may be located near the corner.
		v.	No tarpaulin <u>structures.</u>
d)	Allowable Projections into	Gal	lery, <u>balcony, sign</u> , awning, <u>accessibility features</u> , <u>eave</u> ,
	<u>Setbacks</u>	cant	tilever, chimney / fireplace

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

3.4.8 Frontage Type Standards

<u>Frontage</u> Type Standards shall apply to each <u>principal frontage</u> for all <u>uses</u> except institutional <u>uses</u> where the character of each <u>frontage</u> type shall be maintained, but variations to the <u>entrance feature</u> characteristics do not apply. <u>Entrance features</u> are any pedestrian access / egress to a <u>building</u>.

a) FRONT ATTACHED GARAGE

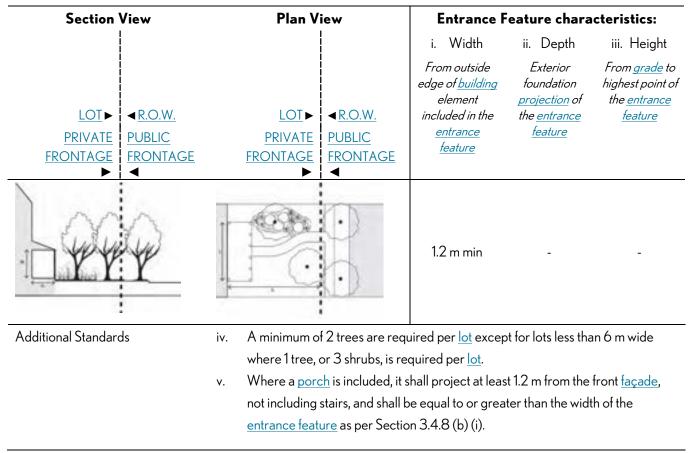
A <u>frontage</u> wherein a driveway and attached garage are located with a front <u>entrance feature</u> perpendicular to the principal thoroughfare.

Section View	Plan View	Entrance Feature characteristics:				
		i. Width	ii. Depth	iii. Height		
LOT PRIVATE FRONTAGE FRONTAGE	LOT► <a>R.O.W. PRIVATEPRONTAGEFRONTAGE►	From outside edge of <u>building</u> element included in the <u>entrance</u> <u>feature</u>	Exterior foundation <u>projection</u> of the <u>entrance</u> <u>feature</u>	From <u>grade</u> to highest point of the <u>entrance</u> <u>feature</u>		
Le P		1.2 m min	1.2 m min	-		
Additional Standards	iv. <u>Entrance features</u> shall be w	Entrance features shall be wholly visible from the principal thoroughfare.				
	v. A minimum of 1 tree is requir	ed per <u>lot</u> .				
	vi. All driveways shall extend a	minimum of 6 m from	n the <u>lot line</u> to t	he garage		
	foundation.					
	vii. Driveways shall be no wider	than the garage.				
	viii. Where possible, curb cut wi	dths shall be minimize	ed.			

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

b) COMMON YARD

A planted <u>frontage</u> wherein the <u>façade</u> is set back from the <u>front lot line</u>. The <u>principal frontage</u> remains unfenced and is visually continuous with <u>adjacent</u> yards, supporting a common landscape.



INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

c) PORCH & FENCE

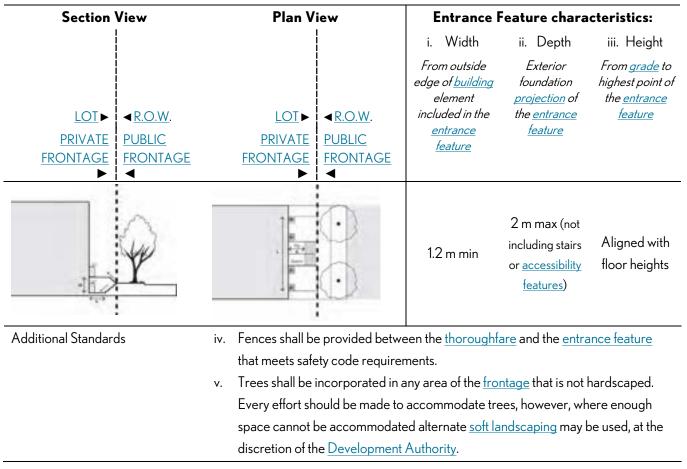
A planted <u>frontage</u> where the <u>façade</u> is set back from the <u>front lot line</u> with an attached <u>porch</u>. A <u>fence</u> at the <u>front lot line</u> provides separation from the <u>public realm</u>.

Section View	Plan View	Entrance Feature characteristics:		
		i. Width	ii. Depth	iii. Height
LOT► < <u>R.O.W</u> . <u>PRIVATE</u> <u>PUBLIC</u> FRONTAGE FRONTAGE ► <	LOT► < <u>R.O.W</u> . PRIVATE <u>PUBLIC</u> FRONTAGE FRONTAGE	From outside edge of <u>building</u> element included in the <u>entrance</u> <u>feature</u>	Exterior foundation <u>projection</u> of the <u>entrance</u> <u>feature</u>	From <u>grade</u> to highest point o the <u>entrance</u> <u>feature</u>
500		1.2 m min	1.2 m min	2.4 m min
Additional Standards	iv. A minimum of 2 trees are rec	juired per <u>lot</u> .		
	v. Front fences shall be no highe	er than 1 m.		

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

d) ALTERNATE HEIGHT ENTRANCE

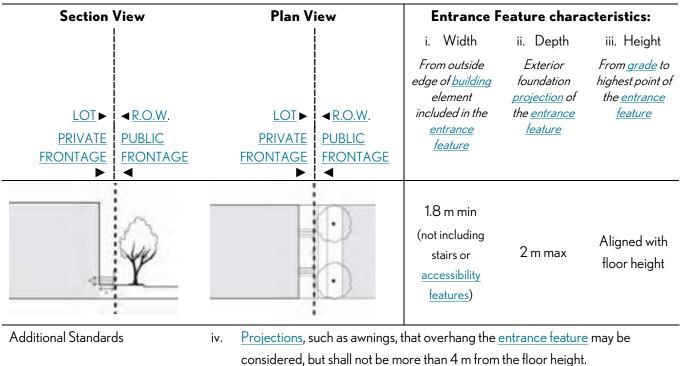
A <u>frontage</u> wherein the <u>façade</u> is <u>setback</u> back from the <u>lot line</u> by an elevated or sunken entrance. This <u>frontage</u> type <u>buffers uses</u> from urban sidewalks and removes the private yard from public encroachment. Entrances may be suitable for conversion to outdoor <u>restaurants / cafés</u> or similar <u>uses</u>. This <u>frontage</u> shall be designed to incorporate <u>accessibility</u> <u>features</u>.



INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

e) STOOP

A <u>frontage</u> where the first <u>storey</u> is elevated from <u>grade</u>. This <u>frontage</u> type is typically used for <u>buildings</u> where the elevation provide additional privacy for windows. As such, the <u>entrance feature</u> should be clearly welcoming and accommodating to reduce the perception of separation as a result of the change in <u>grade</u>.



INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

f) SHOPFRONT

A <u>frontage</u> where the <u>entrance feature</u> is at sidewalk <u>grade</u> and where the <u>façade</u> has several windows on the ground floor with an awning or similar <u>structure</u> projecting over the entrance.

Section View		Plan V	iew	Entrance Feature characteristics:		
				i. Width	ii. Depth	iii. Height
LOT► < <u>R.O.W</u> . <u>PRIVATE</u> <u>PUBLIC</u> <u>FRONTAGE</u> FRONTAGE ► <		PRIVATE	< <u>R.O.W</u> . <u>PUBLIC</u> <u>FRONTAGE</u> ◀	Percentage of <u>lot width</u>	Exterior foundation <u>projection</u> of the <u>entrance</u> <u>feature</u>	From <u>grade</u> to lowest point of the awning or overhang
I P			\bigcirc	30% min	1.5 m min	3.05 m max
Additional Standards	iv.	Ground floor	uses are limited	to lodging, comm	ercial, and institu	itional <u>uses</u> .
	v.	Where appro	priate, a <u>projecti</u>	ion <u>sign</u> shall be in	tegrated with the	e <u>entrance</u>
		feature.				
	vi.	<u>Hard landsca</u>	<mark>ping</mark> shall be con	itiguous and seam	lessly integrated	with the public
		sidewalk with	no <u>grade</u> adjustr	ments.		
	vii.	A minimum o	f 50% of the gro	und floor <u>façade</u> s	hall be compose	ed of non-
		glazed windo	ws and doors.			
	viii.	Sidewalk Caf	és may be incorp	oorated as per Bea	aumont's <i>Sidewa</i>	alk Café
		Guidelines.				

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

g) GALLERY

A <u>frontage</u> where the <u>entrance feature</u> is an attached cantilevered <u>eave</u> or lightweight colonnade overhanging the entrance. The <u>entrance feature</u> may overhang, or encroach on, the <u>lot line</u> where pedestrian movement is not hindered.

Section View		Plan V	iew	Entrance Feature characteristics:		
				i. Width	ii. Depth	iii. Height
LOT ► < <u>R.O.W.</u> <u>PRIVATE</u> <u>PUBLIC</u> <u>FRONTAGE</u> FRONTAGE	<u>SE</u>	LOT ► PRIVATE FRONTAGE ►	R.O.W. <u>PUBLIC</u> FRONTAGE	Percentage of <u>lot width</u>	Exterior foundation projection of the <u>entrance</u> <u>feature</u>	From <u>grade</u> to highest point of the <u>entrance</u> <u>feature</u>
			Ĵ	30% min	3 m min	3.5 m min
Additional Standards	iv.	Where approp	oriate, a <u>projectio</u>	on <u>sign</u> shall be int	egrated with the	e <u>entrance</u>
		<u>feature</u> .				
	٧.	Where approp	priate, the width o	of the <u>entrance fea</u>	<u>ature</u> may be sea	amlessly
		continued to <u>adjacent buildings</u> .				
	vi.	<u>Hard landscap</u>	<mark>ing</mark> shall be cont	iguous and seaml	essly integrated	with the public
		sidewalk with r	no <u>grade</u> adjustm	ients.		
	vii.	Where any <u>stru</u>	<u>ucture</u> encroach	es on the <u>public r</u>	<mark>ealm</mark> all mainten	ance and
		upkeep of the	<u>structure</u> and sur	rounding area is	the responsibility	y of the private
		owner.				

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

3.4.9 Landscaping & Screening Standards

a) Development Standards	All landscaping shall comply with the <u>General Design Standards</u> except where <u>Frontage</u> Type Standards in Section 3.4.8 take precedence. Where possible <u>use</u> plants with seasonal interest. Drought tolerant plants are encouraged.
b) Mandatory Requirement	Any portion of a <u>site</u> not occupied by a <u>structure</u> , parking area, <u>patio</u> , walkway, or storage area shall be landscaped.
c) Number of Trees	All lots greater than 2,500 m ² shall be required to provide a minimum of 1 tree per 35 m ² , based on 10% of the <u>site</u> , where 40% of those trees shall be coniferous, except for municipal <u>reserve land</u> . Unless otherwise provided for by a <u>frontage</u> standard, all lots less than 2,500 m ² shall be required to provide a minimum of 3 trees, except for municipal <u>reserve land</u> .
d) Tree Size	At the time of planting each coniferous tree shall be at least 2.0 m in height and each deciduous tree shall have a <u>caliper</u> of at least 50 mm.
e) Tree Location	Where tree requirements are specified in the <u>Frontage</u> Type Standards, as per Section 3.4.8, the total number of trees required for the remainder of the <u>lot</u> shall be subtracted by those trees to be located in the <u>principal frontage</u> .
f) Number of Shrubs	All lots greater than 2,500 m ² , shall be required to provide a minimum of 1 shrub per 35 m ² , based on 10% of the <u>site</u> , except for municipal <u>reserve land</u> . Unless otherwise provided for by a <u>frontage</u> standard, all lots less than 2,500 m ² shall be required to provide a minimum of 5 shrubs, except for municipal <u>reserve land</u> .
g) Shrub Size	At the time of planting each shrub shall be at least 300 mm deciduous height or 450 mm coniferous spread.
h) Soil Requirements	A minimum of 15 cm of <u>high quality soil</u> and growing material is required for all planting areas.
i) Fencing / Screening	A <u>fence</u> , wall, or screening may not exceed 1.0 m within a <u>principal</u> <u>frontage</u> or 1.8 m in height on any other portion of the <u>lot</u> . A permit is required for a <u>fence</u> exceeding 1.0 m in height on a <u>secondary</u> <u>frontage</u> .

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

3.4.10 Parking, Access & Loading Standards

i.	Agriculture <u>Uses</u>	<u> Agriculture - General</u>	-
		Agriculture – Intensive	-
		Agriculture – Urban	-
		Cannabis Production and	
		Processing	-
		Medical Cannabis Production	-
ii.	Residential <u>Uses</u>	Dwelling Unit(s)	
		Mobile Home	1 stall per unit over 75 m ²
		Temporary Dwelling Unit(s)	_
iii.	Lodging <u>Uses</u>	Bed & Breakfast	1 stall per unit or bedroom
		Campground	-
		Hotel / Motel	1 stall per unit or bedroom
iv.	Business <u>Uses</u>	Arts & Crafts	– 1stall per business
		Home Based Business - Major	
		Home Based Business - Minor	-
		Office	1 stall per 100 m ² of <u>lot coverage</u>
v.	Commercial <u>Uses</u>	Adult Entertainment	
		Drive Through Facility	_
		Entertainment Establishment	- 1 · II · 100 · 2 · (I ·
		Gas Station	– 1 stall per 100 m ² of <u>lot coverage</u>
		<u>Golf Course</u>	-
		Kennel	_
		Restaurant / Café	2 stalls per 100 m ² of <u>lot</u> <u>coverage</u>
		Restricted Substance Retail	
		Retail & Service - General	
		Retail & Service – Large	_

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

-

a) MINIMUM PARKING STANDARDS

Show Home

vi.	Industrial <u>Uses</u>	<u>Industrial – Medium</u>	
		Industrial – Light	1 stall per 100 m ² of <u>lot coverac</u>
		Recreational Vehicle Storage	
		Wash Station	-
vii.	Institutional <u>Uses</u>	After Life Care	
		Cemetery	-
		Culture	-
		Education	2 stalls per 100 m ² of <u>lot</u>
		Government	coverage
		Hospital	-
		Human Services	
		Recreation - Active	-
		Recreation - Passive	-
		Parking Lot with no associated Use	-
		Special Events	-
viii.	Other <u>Uses</u>	Accessory Building or Structure	-
		Public Utility	-
		Excavation, Stripping & Grading	-
		Private Utility	-
		Sign	-
		Temporary Development	_

c) PARKING STANDARDS

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

c)	PAR	KING STANDARDS	
	i.	Development Standards	Any parking area having four or more <u>parking stalls</u> that are visible from an adjoining <u>site</u> , or from a <u>thoroughfare</u> other than a <u>lane</u> , shall have perimeter planting. The location, length, thickness and height of such perimeter planting at maturity shall, in conjunction with a change in <u>grade</u> or other natural or man-made features, be sufficient to provide substantial interruption of the view of the parking area from any adjoining <u>site</u> and enhance the view of the parking area from any <u>adjacent thoroughfare</u> .
	ii.	Pedestrian Network Design	Parking lots shall be designed to efficiently, comfortably, and to safely direct pedestrians from parking areas and <u>entrance features</u> . Walking areas shall be a minimum of 2 m wide, be well marked, be separated by <u>grade</u> from driving or parking areas, and be integrated with landscaping. <u>Parking lots</u> shall not be located in the principle <u>frontage</u> .
	iii.	Parking Location	All <u>parking stalls</u> shall be provided on- <u>site</u> except where, at the discretion of the <u>Development Authority</u> , street parking may be accommodated. Street parking can be considered where the curb <u>frontage</u> is a minimum of 6.m per stall excluding access locations and appropriate safety distances. Where contiguous curb <u>frontage</u> space is available, street parking may be considered part of the minimum parking requirements as per Section 3.4.10 (a).
	iv.	Shared Parking	Where multiple <u>buildings</u> or <u>uses</u> are located on a <u>site</u> , parking minimums in Section 3.4.10 (a) may be reduced to the satisfaction of the <u>Municipality</u> .
	v.	Parking Lot Size	A maximum of 50% of the <u>site</u> can be used to accommodate parking. Where parking requirements in Section 3.4.10 (a) exceed this amount, a strategy for reducing the parking need shall be provided.
	vi.	Accessible Vehicle Parking	For all lots with 11 or more vehicle <u>parking stalls</u> , accessible parking shall be provided in a location with the easiest pedestrian access to the <u>principal building</u> entrance and shall be provided in accordance with the <i>Barrier Free Design Guide</i> as per the Alberta Safety Codes
			<u>Council.</u>

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

c) PAR	KING STANDARDS	
	Design	so they are in scale and character with the rest of the <u>building</u> . Accesses shall not interfere with pedestrian movement.
viii.	Parking Lot Stall Location	Parking stalls shall be spread out through the <u>site</u> and integrated with <u>buildings</u> and landscaping to provide a comfortable pedestrian network.
ix.	Landscaped Islands	In addition to the landscape requirements in Section 3.4.9 in no case shall there be less than 1 tree and 3 shrubs per landscaped island.
Х.	Calculations	Where a fractional figure occurs, the requirement shall be rounded up to the next whole number.

d)	BICY	CLE PARKING STAN	DARDS
	i.	Development Standards	Bicycle parking structures shall be highly visible and shall include a permanent rack or hook-up system. Creative integration with the development is encouraged.
	ii.	Minimum <u>Bicycle</u> <u>Parking</u>	All non-residential <u>buildings</u> less than 4,600 m ² shall provide parking for at least 6 bicycles per <u>building</u> . All non-residential <u>building</u> greater than or equal to 4,600 m ² shall provide parking for 6 bicycles per entrance.
	iii.	Bicycle Parking Location	All <u>bicycle parking structures</u> shall be located within 10 m of a public entrance, but shall not impede pedestrian circulation or access to a <u>building</u> .
	iv.	Bicycle Parking Access	Where a change in <u>grade</u> occurs in the <u>bicycle parking</u> network, ramps or similar <u>structures</u> shall be used to access all <u>bicycle parking</u> <u>structures</u> .

e)	ACC	CESS STANDARDS	
	i.	Number of Accesses	All lots require a minimum of 1 access to the site from a legal and
			physical public roadway and shall be approved by the Municipality.
			Additional accesses shall have prior approval from the <u>Development</u>
			Authority.

INTEGRATED NEIGHBOURHOOD DISTRICT (IN)

ii.	Lane Access	Lots fronting an arterial roadway shall be required to have access
		from a rear <u>lane</u> . Where the <u>site</u> is <u>adjacent</u> to a <u>lane</u> , the <u>lane</u> will be
		used for all vehicular access unless otherwise authorized by the
		Municipality, such as where a front attached garage frontage type is
		used with a <u>lane</u> .
iii.	Shared Access	Shared access between 2 or more <u>adjacent</u> lots may be considered
		to provide more effective access arrangements, to reduce curb cuts,
		and / or to reduce any negative impact on the <u>public realm</u> .

f)	LOA	DING STANDARDS	
	i.	Development	All non-residential uses shall provide sufficient space and access for
		Standards	loading vehicles to the satisfaction of the <u>Development Authority</u> .
	ii.	Clearance	All loading areas shall provide a minimum of 5.3 m vertical
			clearance from <u>grade</u> .
	iii.	Loading Space Size	All <u>loading space</u> shall be at least 4 m wide and 8 m long.
	iv.	Access	Access shall be from a public road, a lane, or a clearly defined traffic
			aisle, and shall not obstruct patron / emergency vehicle circulation.
	۷.	Location	Loading areas shall be located to the side or rear of a <u>lot</u> .

Planning & Development	Submitted	Paid	Note:
5600 - 49 Street Beaumont, AB T4X 1A1	Apr. 12, 2024	Apr. 16, 2024	Building, Electrical, Plumbing, and Gas Permits each have their own application forms.
780-929-8782	DATE-BROEN ED	DATE AND	Concerning once your appropriate struct
development@beaumontab.ca	OFFICE USE ONLY	CHHOLUS/ CHLY	-
Property Information	an Way, Demonstrate AD Total Area		OFFICE USE ONLY
itreet Address 6202 & 63		an a	Permit Number: 2024-037
Plan: 1823366	Block 25	Lot 200 & 201	Building Permit Number:
Applicant and Property Owner Infor	mation		Mal 🔲 Pick-up 🗔
Applicant/Contractor Name: Chad K	c/o VOSH Architecture &	Design Inc.	D Authorization or ID Received
Mailing Address			Land Use District:
own,	Postal Cod	e	Subdivision DANS PH7
'hane: mail (required).	Cell Phone:		Tex Roll 009243 / 009244
s the Applicant also the	The second s	NOVEMBER DE LEVE	D Permitted Use
Registered Owner? Kes Gen	(Rechebel DND reg	ed failers s or the adversarian from the standard and of the	D Permitted Use w/ Variance
Owner Name: Dalpreet Virdl - Virdk Er	spineering		Discretionary Use
Mailing Address	The policy of the second s		Fees Receipt #
Town:	Postal Cod	e:	Development Permit 4,000.0
Thone: Email (required):	CellPhone:		Verience:
Proposed Development	Square Footage (-D 050 7	Notification Feet
Check one of the following:	advare roocage (m7. 950.7	Oler:
Commercial			
□ Industrial			Total Fees: 4,000.00
Institutional			
Other Non-Residential Use:			
□ Signage → Provide Construction (approx. cost of material			
	area and or a		
Has work on the above indicated item a			
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Development Permit Notice of Decision

Date of Decision: October 10, 2024

Chad Kuzio c/o VOSH Architecture & Design Inc.

Proposed Development: Mixed Use Building: 54 Dwelling Units and 3 Commercial Units (2 CRU's and 1 Education Use – Daycare Facility)

Legal Description: Municipal Address: Land Use District: Permit Application No: Tax Roll: Plan 242 2259, Block 25, Lot 201A 180 Dansereau Way, Beaumont, AB Integrated Neighbourhood 2024-037 009243

Development Permit Status: Approved with conditions

Development Permit Conditions

The development noted above is considered a Permitted Use within the Integrated Neighbourhood District, and has been approved by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. Be sure to review all the documentation included with this permit.

- 1. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
- 2. The site shall be developed in accordance with the attached plans issued for development dated October 10, 2024. Any changes to the attached plans require prior written approval by the City.
- 3. The properties located at 6202 65 Street (Plan 182 3366, Block 25, Lot 200) and 6302 65 Street (Plan 182 3366, Block 25, Lot 201) shall be consolidated at the Land Titles Office, and a record of a consolidation submission shall be provided to the City of Beaumont by December 31, 2024.
- 4. Prior to commencing any activity on the lands, the applicant shall enter into and during the currency of the permit abide by a Development Agreement (pursuant to the Municipal Government Act s. 650), containing terms acceptable to the Municipality. The Development Agreement shall include but not be limited to the following:
 - a. that the Applicant shall provide security in a form satisfactory to the City for all obligations under the Development Agreement, including but not limited to, pre-grading, civil works on public property, and hard and soft landscaping on private property.
 - b. The applicant shall meet all engineering requirements as set out in the City of Beaumont's Engineering General Design Standards or provide options that are acceptable and approved by the City.



Development Permit Notice of Decision

Date of Decision: October 10, 2024

Permit Number: 2024-037

- c. Final approval and acceptance by the municipality of all civil engineering plans must be completed prior to the execution of the development agreement.
- 5. Landscaping shall be provided as shown on the attached approved plans. Hard landscaping shall be contiguous and seamlessly integrated with the public sidewalk with no grade adjustments.
- 6. Lighting for the building shall be provided as shown on the attached approved plans. All permanently installed lighting shall be compliant with International Dark-Sky Association requirements.
- 7. An Education Use (Daycare) has been approved for 567.3m² and requires 12 parking stalls for the proposed use. A development permit is required prior to the remaining area being occupied on the ground floor.
- 8. The approved drawings do not show any rooftop mechanical equipment. Should rooftop mechanical equipment be required, revised drawings shall be submitted. Rooftop mechanical equipment shall be screened from view or incorporated into the roof envelope.
- 9. Based on the details of the approved plans, the development meets the minimum required 75% Essential Elements and 25% Suggested Elements of the Beaumont Urban Design Guidelines.
- 10. The owner/applicant shall obtain all federal, provincial and local permits as they apply to this project.

Additional Information

1. <u>Prior to any work commencing on the site</u>, a Letter of Credit in the amount of 100% of the construction costs for hard and soft landscaping shall be provided prior to building permit issuance, with such costs to include hard landscaping features such as brick pavers, shale, concrete curbing, sidewalks, patios, paved approaches including culvert and rip rap, fencing and painted lines for parking stalls.

50% of the landscaping security shall be released after planting and the remaining balance shall be released once an inspection of the site has demonstrated to the satisfaction of the Development Authority that the landscaping has been well maintained and is in healthy condition two growing seasons after approved inspection.

- 2. <u>Prior to any construction commencing on the site</u>, a Development Agreement and a Letter of Credit equal to 25% of the construction costs shall be submitted to the City of Beaumont for the following:
 - a. any pre-grading of the site including stripping, grubbing, etc.
 - b. the cost of work to be undertaken on municipal property, including but not limited to underground servicing and access.

All but \$7,000 of the above noted securities will be returned upon completion, with no deficiencies as confirmed by Engineering (the municipality will not take less than \$7,000 security). The remainder shall be released upon completion and receipt of as-built record drawings that are received and deemed acceptable by the municipality.



Development Permit Notice of Decision

Date of Decision: October 10, 2024

Permit Number: 2024-037

3. Prior to securing the Letter of Credit for this project, the Applicant shall provide cost estimates for approval by the Manager, Engineering & Environment.

The Letter of Credit shall have an initial term of one (1) year, shall be renewed by the owner 30 days prior to expiry, and shall:

- a. contain an automatic renewal clause; and
- b. allow for partial draws by the City of Beaumont.
- 4. The Applicant shall maintain comprehensive liability insurance in the amount of \$5 million as it relates to this project, for the duration of both phases of the project. A copy of the Certificate of Insurance must be provided, and Beaumont shall be named on same.
- 5. Engineering Advisements
 - a. The owner shall be responsible for any engineering and legal costs incurred by the City related to this project.
 - b. Any excavation into existing asphalt or concrete, fillcrete backfill will be required to the bottom of asphalt or concrete, as clay backfill will not be permitted.
 - c. The owner shall ensure all ramps on this site are barrier-free compliant and meet all requirements of the Barrier-Free Design Guide and meet the Alberta Building Code requirements.
 - d. The southwest building corner has a steep grade landing for access into the building at 5.3%.
 - e. The owner shall ensure a silt fence is on the property.
 - f. Any existing landscaped areas impacted or damaged by this project shall be repaired in accordance with the General Design Standards and to the satisfaction of the City of Beaumont.

6. Fire Advisements

- a. A Fire Safety Plan must be posted in a visible area on the construction site.
- b. The Fire Chief requires that the City of Beaumont Fire Department be provided with one (1) elevator key, to be used during a rescue operation, in the event occupants or visitors to the building become trapped inside the elevator car.
- c. The Applicant shall purchase a key box from the City Hall Office to ensure all building units are accessible in case of an emergency.
- 7. Infrastructure Advisements
 - a. The owner shall contact all franchise utilities to arrange for any service connections that are required. Where City utilities and services are interfered with or for construction, which is on municipal property, the Applicant will be responsible for the cost of relocation/repair of these municipal services.



Development Permit Notice of Decision

Date of Decision: October 10, 2024

Permit Number: 2024-037

- b. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to waterandwastewater@beaumont.ab.ca. This application must be submitted thirty (30) days prior to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.
- 8. This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
- 9. The Applicant shall provide the Development Authority with AutoCAD drawings to the satisfaction of the Development Authority with the Building Permit application.
- 10. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the Alberta Safety Codes Act and any other applicable bylaws or regulations.
- 11. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.
- 12. The site shall be kept clear of all construction garbage and debris; an on-site garbage container/bin shall be required.
- 13. Failure to keep the sites clean of debris is an offence under Our Zoning Blueprint. The Peace Officers may issue offence tickets to any person who has committed or is committing an offence respecting this infraction and may be subject to the following penalties:
 - a. First Offence a written warning or a stop work order shall be issued, and a bin will be required onsite;
 - b. Second Offence (on same lot) a minimum fine of \$1,000.00 and a stop work order shall be issued;
 - c. Third (and Subsequent) offence(s) (on same lot) a minimum fine of \$5,000.00 and a stop work order shall be issued.
- 14. Separate sign permit applications will be required for any on-site signage.
- 15. It is the responsibility of the Applicant to ensure they have reviewed and understand all Instruments registered against the Title of the subject property. This includes all easements, caveats, and restrictive covenants. The City shall not address, nor enforce, any Instruments of which we have no interest in and/or are not a party to.



Development Permit Notice of Decision

Date of Decision: October 10, 2024

Permit Number: 2024-037

Permit Notification Information

In accordance with the City of Beaumont Land Use Bylaw 944-19, notice regarding this Development Permit has been published on our website, only.

Appeal Information

Permitted Uses may not be appealed unless the provisions of the Land Use Bylaw were relaxed, varied, or misinterpreted. If you have reason to appeal this Development Permit or any of the above conditions on these grounds, you may submit an appeal to the Secretary of the Subdivision Development and Appeal Board (SDAB) or the Land and Property Rights Tribunal within 21 days of the date the decision was made, noted above.

Please be advised that an appeal may be submitted in accordance with Section 685 of the Municipal Government Act with the Subdivision and Development Appeal Board within 21 days of the written decision. To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at <u>legislative@beaumont.ab.ca</u>. Appeals must be filed no later than 4:30 p.m. on the date indicated above. Please visit our website for more details at <u>www.beaumont.ab.ca</u>

For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



Planner II 780-340-0342 <u>Aleshia.Ingram@beaumont.ab.ca</u>

cc:

Olly Morrison, Chief Financial Officer, DCAO Internal Services Kendra Raymond, Director, Planning & Development Jennifer Niesink, Director, Economic Development Jay Melvin, Director, Protective Services & Fire Chief Aaron Lewicki, Director, Infrastructure Paul Suiter, Director, Community Services Ryan Anders, Manager, Engineering & Environment Joannes Wong, Manager, Long Range Planning Wendy Jones, Manager, Investment Attraction & Growth Bryce Piacentini, Manager, Parks and Roads Operations Ryan Orlovsky, Manager, Facility & Utility Operations Cory Chartrand, Municipal Projects Brad McMurdo, Manager, Development Services



Development Permit Notice of Decision

Date of Decision: October 10, 2024

Permit Number: 2024-037

Yasmin Sharp, Senior Planner Carley Krahn, Fire Prevention Officer Joe Ross, Safety Codes Team Lead Parth Mehta, Engineering Lead Iolanda Troiani, Engineering Coordinator Sara Edge, Operations Facility Administrative Assistant Troy Birtles, Accurate Assessment Dermian Ayalefac – Alberta Health Services - Leduc Public Health

DANSEREAU MIXED-USE APARTMENT ISSUE FOR DEVELOPMENT PERMIT 6202-65-5T .- \$-6302-65-ST, BEAUMONT, AB T4X 0J3

180 Dansereau Way

2024-10-07



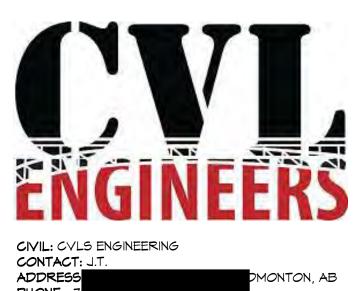




STRUCTURAL: DESIGNWORKS ENGINEERING CONTACT: RICHARD NEUFELD ADDRESS CALGAR PHONE:

MECHANICAL: DESIGNWORKS ENGINEERING CONTACT: JONES BONCATO ADDRES BURLING PHONE:

ELECTRICAL: DESIGNWORKS ENGINEERING CONTACT: SHERRY KALDAS ADDRESS EDMONTO PHONE:





LANDSCAPE: GREEN SPACE ALLIANCE CONTACT: RAHUL KHUMKAR ADDRESS PHONE: 7

Approved: October 10, 2024 Permit No: 2024-037

City of Beaumont **Development Authority**

Aleshia Ingram







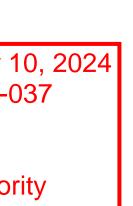




REET NM,







A0.2 CONSTRUCTION ASSEMBLIES AND SYMBOLS A1.0 SITE PLAN A1.1 SITE DETAILS A3.0 OVERALL FOUNDATION PLAN A3.1 OVERALL MAIN FLOOR PLAN ENLARGED MAIN FLOOR PLAN A3.2 A3.3 OVERALL 2ND-4TH FLOOR PLAN OVERALL 3RD FLOOR PLAN A3.4 A3.5 OVERALL 4TH FLOOR PLAN ENLARGED SUITES A3.6 A3.7 ENLARGED SUITES A4.0 RCP A4.1 RCP A4.2 UNIT RCP A4.3 UNIT RCP ROOF PLAN A5.0 A6.0 BUILDING ELEVATIONS BUILDING ELEVATIONS A6.1 A7.0 BUILDING SECTIONS A8.0 WALL SECTIONS A8.1 WALL SECTIONS SECTION DETAILS A8.2 A8.3 SECTION & PLAN DETAILS A8.4 PLAN DETAILS A9.0 VERTICAL CIRCULATION VERTICAL CIRCULATION A9.1 VERTICAL CIRCULATION A9.2 A13.0 DOOR & WINDOW SCHEDULES

PROJECT NOTES & SCHEDULES

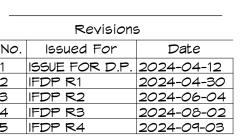
ARCHITECTURAL DRAWINGS

AO.O

AO.1

TITLE SHEET





ARTMEN S MO \bigcirc ME ANSERE





AND DESIGN, INC.

9906-104 Street Fort Saskatchewan, AB TBL 2EB 780.589.4747 | www.vosharch.ca

Date:	2024-10-07
Drawn by:	EA
Checked by:	СК
Scale:	
File:	24-008

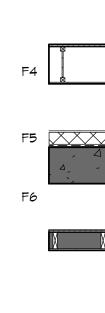
Sheet Name: TITLE SHEET

Sheet No:



SYMBOL LEGEND

	CODED NOTES TAG
DOOR REFERENCE 555	DOOR TAG
WINDOW REFERENCE	WINDOW TAG
WALL/FLOOR REFERNCE	WALL/FLOOR TAG
ELEVATION	ELEVATION DATUM
DRAWING NUMBER SHEET NUMBER	WALL & BUILDING SECTION CALLOUT
ROOM NUMBER 101	ROOM TAG
	GRID BUBBLE
DRAWING NUMBER 1 A101 SHEET NUMBER	DETAIL CALLOUT
TRUE	NORTH ARROW



ROOF AS

TYPE MARK



R2

FLOOR ASSEMBLIES LIST

· · · - ·				
TYPE MARK	Floor Construction	COMMENTS	TYPE MARK	Wall Construction
F1	-6" CONC SLAB, REFER TO STRUCT FOR ADD. INFO -15 MIL POLY - 4" RIGID INSUL -6" COMPACTED GRANULAR FILL			- VINYL OR HARDIEBOARD PANEL - AIR BARRIER 5/8" DENSGLASS
F2	-12" CONC SLAB, REFER TO STRUCT FOR ADD. INFO			- 6" MTL STUD FRAM'G @ 16" O.C. - INFILL STUD SPACE W/ R22 BATT - V.B. - 1/2" GWB
F3	-1 1/2" GYPSUM-CONCRETE TOPPING -3/4" PLYWD - TJI JOIST, REFER TO STRUCT FOR SIZE AND LOCATION -2 LAYERS 5/8" TYPE-X GYP			- HARDIEBOARD PANEL SIDING (SI - AIR BARRIER - 5/8" DENSGLASS SHT'G
F4	-VINYL DECK MEMBRANE -3/4" EXT GRADE PLY -TJI, SEE STRUCT -2X4 HORZ WD STRAPP'G -PRE-FIN MTL SOFFIT	WD BALCONY	EM2	- 6" MTL STUD FRAM'G @ 16" O.C. - INFILL STUD SPACE W/ R 22 ROC - V.B. - 5/8" GWB TYPE-X
F5 XXXX	<pre></pre>	<varies></varies>		- STONE VENEER - GROUT AND MTL LATH - AIR BARRIER - 5/8" PLYWD SHT'G
F6	-FIN FLR -3/4" PLYMD MD JOIST, REFER TO STRUCT 1/2" GYP, PAINTED	STAIR LANDING		WYYYYYW - 2"X6" WD STUDS, SEE STRUCT FC - R22 BATT INSUL - V.B. - 5/8" GWB TYPE-X
ROOF ASSI	EMBLIES LIST		EM4	- HARDIEBOARD ARCHITECTURAL - AIR BARRIER - 5/8" DENSGLASS SHT'G - 2x6" WD STUD FRAM'G @ 16" O.C - INFILL STUD SPACE W/ R22 ROCI - V.B. - 5/8" GWB TYPE-X
TYPE MARK	DESCRIPTION	COMMENTS		- 10" CONC - 5/8" DENSGLASS SHEATHING
	- SINGLE PLY MECHANICALLY FASTENED MEMBRANE (EPDM) - 5/8" FIBREBOARD		EW5	
R1	 - 1 1/2" RIGID INSUL (+ SLOPED INSUL TOWARD ROOF DRAINS) - 5/8" PLYWD SHEATHING - WD TRUSS, SEE TRUSS DESIGNER DRAWINGS - FILL CAVITY W/ BATT INSUL - 6 MIL POLY V.B. - 1/2" GYP CEILING 			- 1/2" GWB - 2"X4" WD STUDS, SEE STRUCT FC - FILL CAVITY W/ BATT INSUL - 1/2" GWB
	- 1/2 GTP CEILING - SINGLE PLY MECHANICALLY FASTENED MEMBRANE (EPDM) - 5/8" FIBREBOARD	ELEV		- 1/2" GWB - 2"X6" WD STUDS, SEE STRUCT FC

- 5/8" FIBREBOARD
 1 1/2" RIGID INSUL (+ SLOPED INSUL TOWARD ROOF DRAINS)
 5/8" PLYWD SHEATHING
 11 7/8" TJI WD TRUSS
 FILL CAVITY W/ BATT INSUL
 6 MIL POLY V.B.
 1/2" GYP CEILING

MALL ASSEMBLIES LIST

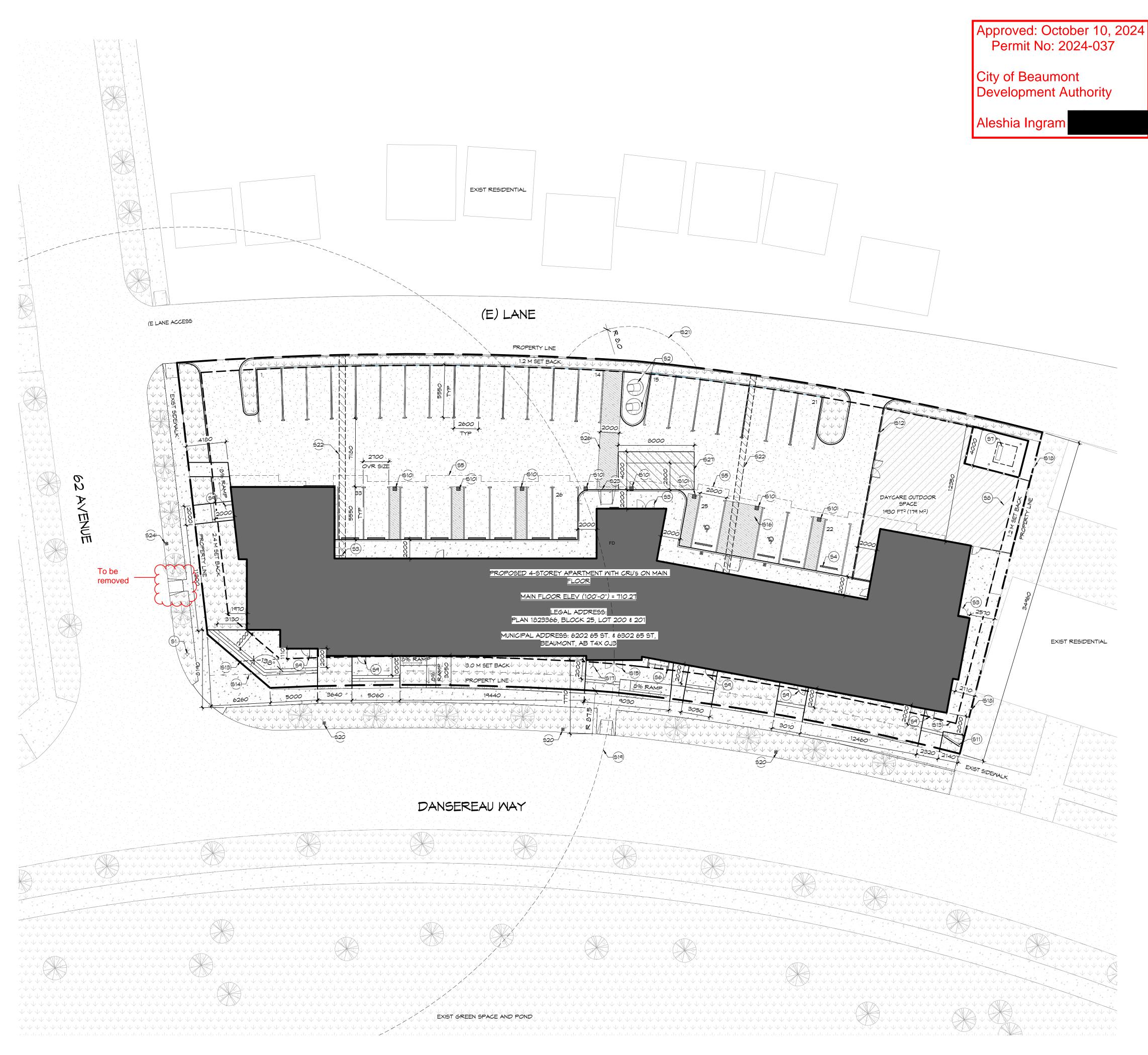
		- 2" RIGID INSUL - GALV MTL THERMAL CLIPS @ 48" (
IM1	<u>18,000000000000000000000000000000000000</u>	- 1/2" GWB - 2"X4" WD STUDS, SEE STRUCT FOR - FILL CAVITY W/ BATT INSUL - 1/2" GWB
IW2		- 1/2" GWB - 2"X6" WD STUDS, SEE STRUCT FOR - FILL CAVITY W/ BATT INSUL - 1/2" GWB
IM3		 5/8" GWB TYPE X 2"X4" WD STUDS, SEE STRUCT FOR FILL CAVITY W/ BATT INSUL 1" AIR GAP 2"X4" WD STUDS, SEE STRUCT FOR FILL CAVITY W/ BATT INSUL 5/8" GWB TYPE X
IM4	N N N	- 1/2" GWB - 2"X4" WD STUD, SEE STRUCT FOR S
1145		- 8" CMU BLOCK WALL
IM6		- 5/8" TYPE X GWB - 2"X4" WD STUDS STAGGERED ON A - FILL CAVITY W/ BATT INSUL - 5/8" TYPE X GWB
1147		- 1/2" GWB - 6" MTL STUDS, SEE STRUCT FOR SF - 1/2" GWB
IM8		- 5/8" GWB - 6" MTL STUDS, SEE STRUCT FOR SF - 5/8" GWB
IMA		10" CONC
IW10	<u>NN</u>	- 5/8" TYPE X GWB - 2"X4" WD STUDS, SEE STRUCT FOR - 5/8" TYPE X GWB
I M 11		- 1/2" GWB - FILL CAVITY W/ BATT INSUL - 6" MTL STUDS, SEE STRUCT FOR SF

MALL ASSEMBLY COMMENTS 1. COORD EXT FINISHES W/ EXT ELEVE 2. ENSURE 1HR RATED ASSEMBLY IS U 3. FURRING WALL 4. ELEV WALL

				NO.	ISSUE FOR D.	Date P. 2024-04-12
	FIRE RATING	U.L.C. #	COMMENTS		IFDP R1 IFDP R2 IFDP R3	2024-04-30 2024-06-04 2024-08-02
NEL SIDING (REFER TO EXT. ELEVS FOR LOCATIONS)						
.C.	N/A					
ATT INSUL						
(SEE ELEVS FOR LOCATIONS)						
.C. ROCKWOOL INSUL	1 HR	ULC DES U423				
				_		
FOR SPACING	N/A		1, 2			
AL PANEL (REFER TO EXT. ELEVS FOR LOCATIONS) O.C.	1 HR					
OCKWOOL INSUL						
48" O.C. (VERTICAL)					[MEN]	
FOR SPACING					Ξ	
					E	
FOR SPACING					AR	
					$\mathbf{P}_{\mathbf{I}}$	
FOR SPACING	1 HR	A.B.C. 2019 W13A			A	
FOR SPACING					N N	
FOR SPACING			<varies></varies>		OWS APARI	
	1 HR		4		$\sum_{i=1}^{n}$	
ON A 2"X6" TOP AND BOTTOM WD PLATE, SEE STRUCT FOR SPACING	1 HR	ULC DES U340			AI	
					Ξ	
OR SPACING					\geq	
OR SPACING						ST.,
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FOR SPACING	1 HR	ULC DES W301			R	AND 6302 (T, AB T4X (
					NSEI	AND (ſ, AB
OR SPACING ELEVS ON SHEET A6.0 & A6.1					Z	6202 65 ST. Al BEAUMONT,
LEVE ON SHEET ABLU & ABLI LY IS USED ON EXT WALLS FOR 1 HR FIRE PROTECTION AS PER A.B.C. TAE	BLE 3.2.3.7				A)2 65 AUN
					\square	62(BE
				10		
				*	VO	SH
					VOSHELL ARC AND DESI	
					9906-10 Fort Saskatchew 780.589.4747 w	in, AB TBL 2EB
				Da	ate:	2024-10-07
		ctober 10 : 2024-03			awn by: ecked by:	SB TV
				Sc Fil		As indicated 24-008
City of Develo		mont t Authorit	y		eet Name: ONSTRU	CTION
Aleshia	a Ingra	am		Α	SSEMBL	IES AND
					YMBOLS eet No:	

ISSUE FOR DEVELOPMENT PERMIT A0.2

Revisions





PRO.	JECT	NO	res

ZONING- INTEGRATED NEIGHBORHOOD DISTRICT

SITE COVERAGE PERMITTED - 55% SITE AREA = 2,972 M² (31,989 FT²)

BUILDING COVERAGE = 950 M² (10,233 FT²) = 32% SITE COVERAGE

TOTAL BUILDING AREA = 52,989 FT² (4,922 M²)

PARKING RESIDENTIAL - 1 STALL PER UNIT OVER 75 M² RETAIL # SERVICE (GENERAL) - 1 STALL PER 100 M² LOT C

RETAIL & SERVICE (GENERAL) - 1 STALL PER 100 M² LOT COVERAGE REQ'D = 11

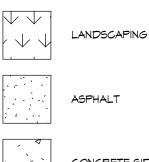
PROVIDED = 33 (2 BARRIER FREE)

PARKING LOT COVERAGE: 1,099 M² (11,827 FT²) / 2,972 M² (31,989 FT²) = 37% OF SITE

GENERAL NOTES:

- 1 SEE CIVIL FOR DRAINAGE/UTILITY PLAN/LOCATIONS AND BARRIER-FREE RAMP SLOPES
- 2. SEE ELEC AND MECH SITE DWGS FOR EXTENT OF SUB-SURFACE WORK TO BE DONE.
- 3. SEE E1.0 SITE PLAN FOR EXTENT OF SITE LTG
- 4. SEE L101 FOR LANDSCAPING PLAN.
- 5. AT CONCRETE SIDEWALKS, INSTALL JOINTS AT 10'-0" C/C AND 1/2" CONTROL JOINTS W/ BITUMOUS JOINT FILLER EVERY 30'-0", AND AT START/END OF CURVES.
- CONTROL JOINTS (CJ) SHALL BE LOCATED WHERE SIDEWALK ABUTS CONC DRIVEWAYS, CURBS OR OTHER ADJACENT STRUCTURES.
- 1" DEEP CONTROL JOINTS SHALL BE PLACED AT INTERVALS OF APPROX. 15'-0" (4572mm), OR AT SPACING THAT MATCHES ADJACENT CURB.
- 8. FORMED CONTROL JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 3/8" (9mm) RADIUS.
- SCORED JOINTS (SJ) SHALL BE 1/4" (6mm) DEEP AND PLACED AT THE SPACING INDICATED FOR THE WIDTH OF SIDEWALK OR MATCH SCORED JOINTS OF ADJACENT CURB.
- 10. CONC SHALL BE FINISHED BY MEANS OF A FLOAT, STL TROWEL AND BROOMED W/ A FINE BRUSH IN A TRANSVERSE DIRECTION.
- 11. CONTR TO LAYOUT FRONT PORTION OF PARK'G AND LANDSCAPING PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT FOR SITE MEETING. START LAYOUT FROM FRONT OF BLDG AND PRIORITIZE CRITICAL DIMS.
- 12. ALL BARRIER-FREE PARK'G STALLS TO BE PROVIDED WITH PROPER SIGNAGE AS PER CAN/CSA-B651-04, SECTION 5.2.2 (SIGNS FOR DESIGNATED PARK'G). SEE DTL 3/A1.
- WHERE (E) CURB IS REQ'D TO BE RMV'D, CONTR TO ALLOW FOR ADDITIONAL DEMO FOR NEW CONST, AND PROVIDE SMOOTH TRANSITION FROM NEW TO OLD, TYP.
- 14. EXIST TREES INSTALLED BY CITY SHOWN GREY
- 15. BUILDING LOCATION DIM'D FROM EXT OF SHEATHING
- 16. FIRETRUCK ACCESS TO BE ALONG PRIMARY BUILDING FRONTAGE

<u>SITE LEGEND</u>





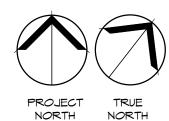
--- G--- EXIST GAS LINE

CONCRETE SIDEWALK

CODED NOTES

- CODED NOTES SHOWN PERTAIN TO THIS SHEET ONLY
- (S1) EXIST FIRE HYDRANT, 42.8m TO FDC
- (52) MOLOK MODERN CLASSIC BIN (1) GARBAGE AND (1) RECYCLE, FINISHED W/ STONE GREY. LOCATE MIN. 300MM FROM CONC CURB
- (53) APARTMENT ENTRANCE /EXIT
- \sim
- (54) RBR WHEEL STOP, TYP
- (55) LINE OF FLOOR AND BALCONIES ABV
- (56) BIKE RACK W/ 6 STALLS
- (ST) PROPOSED TRANSFORMER LOCATION, CONTR TO ADJUST LOC TO SUIT
- (58) DAYCARE OUTDOOR SPACE W/ ARTIFICIAL TURF
- (S9) CRU ENTRANCE
- (510) CONC COL, SEE STRUCT FOR SIZE AND LOCATION
- (S11) FREE STANDING ADDRESS SIGNAGE, SIZE TBD
- (12) 1800MM WD FENCE ON 150MM CONC CURB
- (513) EXIST 3.0M U.R.O.W
- (514) EXIST GAS LINE, EXACT LOCATION TO BE FIELD VERIFIED
- 615 PRINCIPAL ENTRANCE
- (516) PAINTED NON SLIP LINES
- (517) FDC
- (518) EXIST WD FENCE ALONG RESIDENTIAL PROPERTY LINE
- (519) LINE OF EXIST FIRE HYDRANT COVERAGE
- 520 SEASONAL PARKING SIGNAGE , TBC BY CITY OF BEAUMONT
- (52)) AREA REQ'D FOR MOLOK CRANE COLLECTION
- (522) UTILITY TRENCH TO EXIST STORM, SEE CIVIL AND MECH FOR ADD. INFO
- (523) PROPOSED RESIDENT DROP OFF
- 624 COMMERCIAL LOADING 15 MIN. MAX SIGNAGE
- (52) 2m WIDE RAISED WALKWAY/SPEEDBUMP

(52) 2.8m YELLOW PAINTED LINES, 1.2m WHITE PAINTED LINES LAODING ZONE



ISSUE FOR DEVELOPMENT PERMIT

	Revisions			
NO.	Issued For	Date		
2	IFDP R1	2024-04-30		
з	IFDP R2	2024-06-04		
4	IFDP R3	2024-08-02		
5	IFDP R4	2024-09-03		
6	IFDP R5	2024-09-25		

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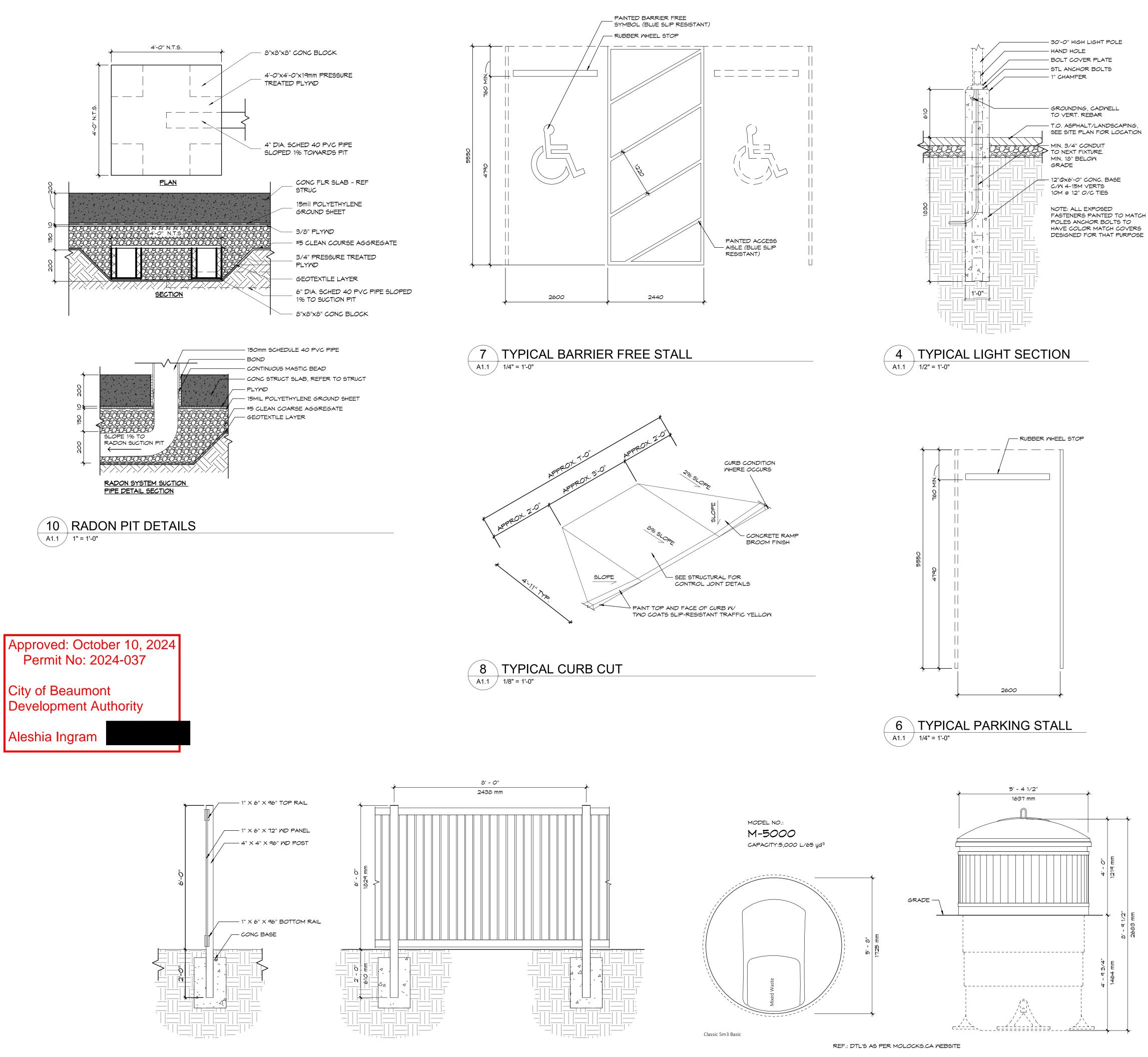
VOSHELL ARCHITECTURE AND DESIGN, INC.

9906- 104 Street Fort Saskatchewan, AB T8L 2E8 780.589.4747 | www.vosharch.ca

Date:2024-10-07Drawn by:EAChecked by:CKScale:As indicatedFile:24-008Sheet Name:

SITE PLAN

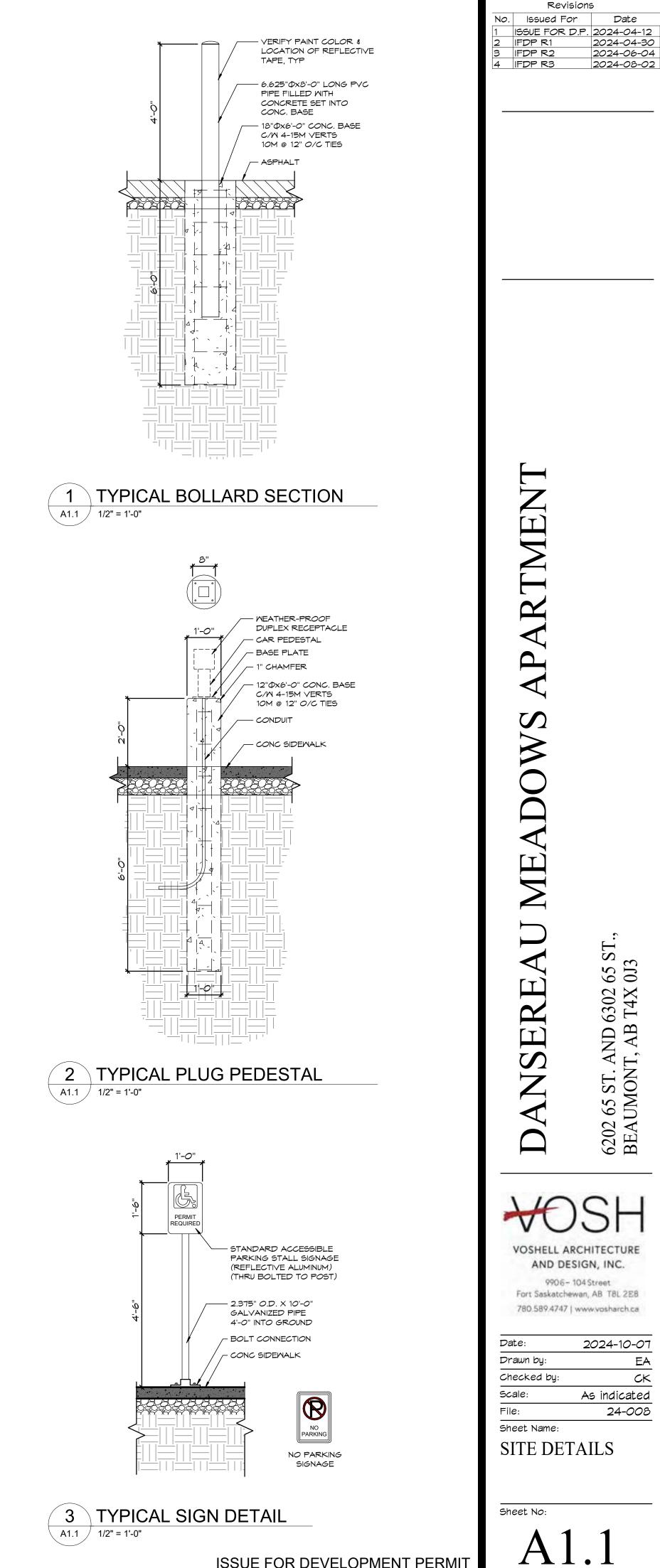
Sheet No:



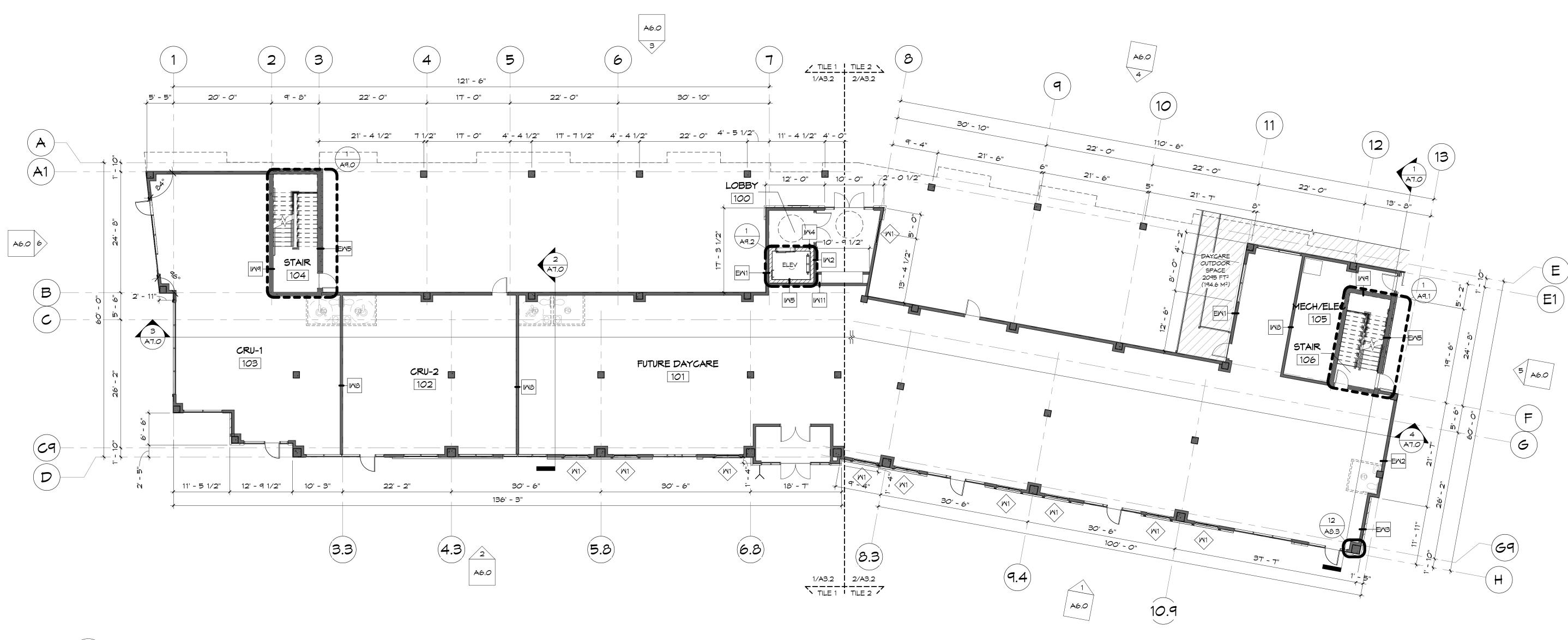




Page 57 of 160



ISSUE FOR DEVELOPMENT PERMIT

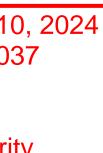




Approved: October 10, 2024 Permit No: 2024-037

City of Beaumont Development Authority

Aleshia Ingram

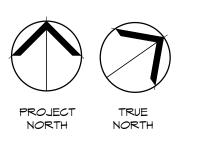


GENERAL NOTES

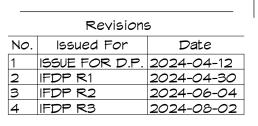
- 1. SEE AO.1 & AO.2 FOR ALL NOTES, SYMBOL LEGENDS, AND ASSEMBLY TYPES
- 2. SEE A13.0 FOR DR AND WDW SCHED
- 3. INT DIMS ARE TAKEN TO FACE OF STUD, U.N.O.
- 4. FE LOCATIONS- SEE MECH
- 5. SEE A6.1 FOR MAIN FLOOR CURTAIN WALL ELEVATIONS
- 6. ALL EXT WALLS ON MAIN FLR TO BE EW1 U.N.O.
- 7. ITEMS SUCH AS MILLWORK, AND INT FINS, ARE TO BE DETERMINED ON AN AS-BUILT BASIS AND ARE SUBJECT TO APPORVAL BY OWNER.

8. SEE SITE PLAN FOR EXTENT OF CONC WALKWAYS, TYP.

PROPOSED CRU	
CRU-1	1525 FT² (141.7 M²)
CRU-2	1148 FT ² (106.7 M ²)
FUTURE DAYCARE	6106 FT² (567.3 M²)
TOTAL	8779 FT² (815.7 M²)
OUTDOOR SPACE	2095 FT² (194.6 M²)



ISSUE FOR DEVELOPMENT PERMIT

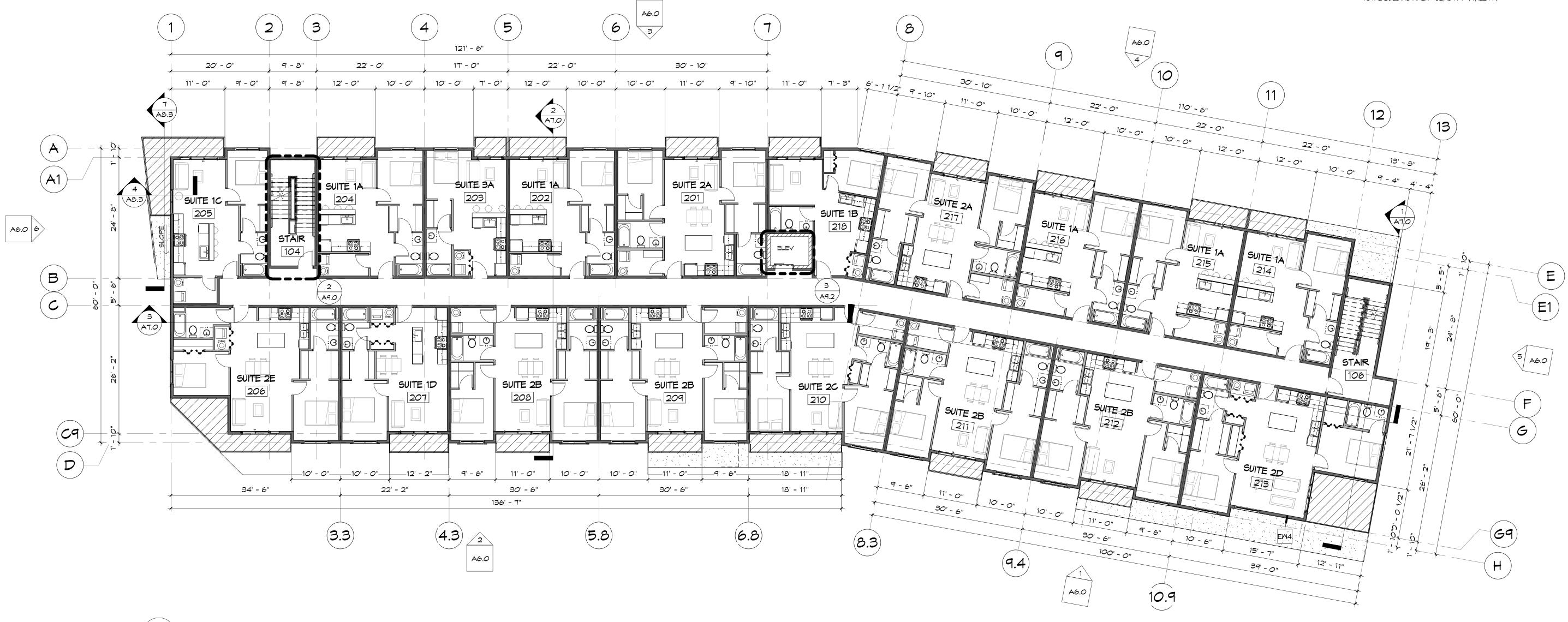


ARTMEN K \mathbf{v} MO \bigcirc K ANSEREAU ME 6202 65 ST. AND 6302 65 ST., BEAUMONT, AB T4X 0J3 HOSH VOSHELL ARCHITECTURE AND DESIGN, INC. 9906-104 Street Fort Saskatchewan, AB TBL 2EB 780.589.4747 | www.vosharch.ca

Date:	2024-10-07
Drawn by:	EA
Checked by:	СК
Scale:	As indicated
File:	24-008
Sheet Name:	

OVERALL MAIN FLOOR PLAN



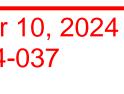


1 OVERALL 2ND-4TH FLOOR PLAN A3.3 3/32" = 1'-0"



City of Beaumont Development Authority

Aleshia Ingram



GENERAL NOTES

1. SEE AO.1 & AO.2 FOR ALL NOTES, SYMBOL LEGENDS, AND ASSEMBLY TYPES

2. SEE A13.0 FOR DR AND WDW SCHED

3. INT DIMS ARE TAKEN TO FACE OF STUD, U.N.O.

- 4. FE LOCATIONS- SEE MECH
- 5. SEE AG.1 FOR MAIN FLOOR CURTAIN WALL ELEVATIONS
- 6. ALL INT WALLS TO BE IW1, U.N.O
- 7. ALL EXT WALLS TO BE EW3 U.N.O.
- 8. ALL MILLWORK TO BE DESIGNED/COORD BY CLIENT

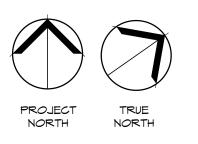
EXTERIOR FINISH LEGEND



CANOPY PROJECTION

PROPOSED UNITS			
		TOTAL	
BACHELOR (A)	397 FT² (36.8 M²)	з	
1 BED 1 BATH (A)	518 FT² (48.1 M²)	15	
1 BED 1 BATH (B)	439 FT ² (40.7 M ²)	з	
1 BED 1 BATH (CORNER)	526 FT ² (48.8 M ²)	з	
1 BED 1 BATH (D)	553 FT² (51.3 M²)	з	
2 BED 2 BATH (A)	742 FT ² (68.9 M ²)	6	
2 BED 2 BATH (B)	783 FT ² (72.2 M ²)	12	
2 BED 2 BATH (MIDDLE)	759 FT² (70.5 M²)	з	
2 BED 2 BATH (CORNER)	773 FT ² (71.8 M ²)	з	
2 BED 2 BATH (CORNER)	839 FT ² (77.9 M ²)	з	
	TOTAL	54	

MAIN FLOOR (TO EXT WALL) = 10,233 FT² (950 M²) FLOORS 2-4 (TO EXT WALL) = 14,252 FT² (1,324 M²) TOTAL BUILDING AREA = 52,989 FT² (4,922 M²)



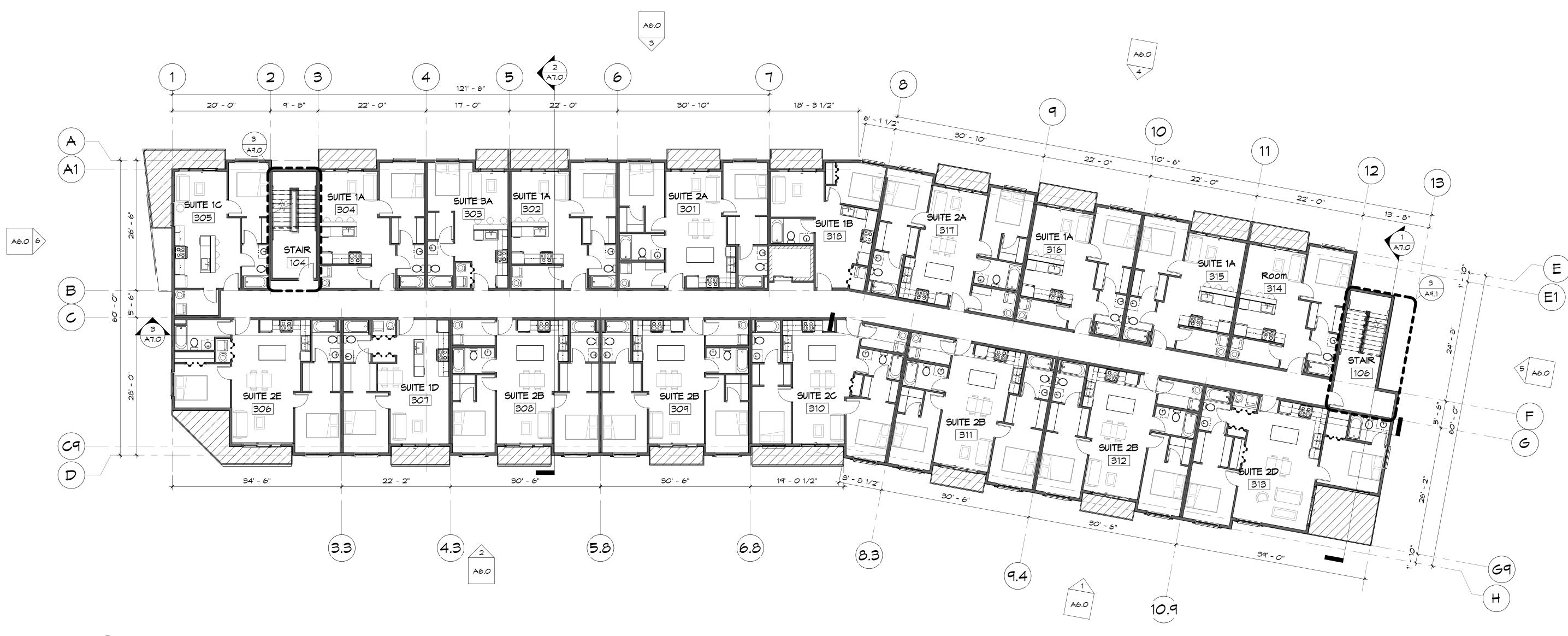
ISSUE FOR DEVELOPMENT PERMIT

	Revisions				
NO.	Issued For	Date			
1	ISSUE FOR D.P.	2024-04-12			
2	IFDP R1	2024-04-30			
3	IFDP R2	2024-06-04			
4	IFDP R3	2024-08-02			
6	IFDP R5	2024-09-25			

ARTMENT K \mathbf{N} MO \bigcirc K ME AU 6202 65 ST. AND 6302 65 ST., BEAUMONT, AB T4X 0J3 ANSERE INC 111 **VOSHELL ARCHITECTURE** AND DESIGN, INC. 9906-104 Street Fort Saskatchewan, AB TBL 2EB 780.589.4747 | www.vosharch.ca 2024-10-07 Date: Drawn by: ΕA Checked by: СK As indicated Scale: 24-008 File: Sheet Name:

OVERALL 2ND-4TH FLOOR PLAN Sheet No:

A3.3





City of Bea Developm

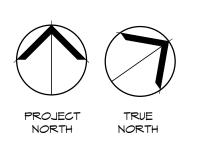
Aleshia Ing

			Revision	9
	<u>GENERAL NOTES</u>	NO.	Issued For	Date
l: October 10, 2024	1. SEE AO.1 & AO.2 FOR ALL NOTES, SYMBOL LEGENDS, AND ASSEMBLY TYPES	1	ISSUE FOR D.P.	2024-04-12
		2	IFDP R1	2024-04-30
No: 2024-037	2. SEE A13.0 FOR DR AND WDW SCHED	З	IFDP R2	2024-06-04
110.2021001		4	IFDP R3	2024-08-02
	3. INT DIMS ARE TAKEN TO FACE OF STUD, U.N.O.			
aumont	4. FE LOCATIONS- SEE MECH			
nent Authority	5. SEE A6.1 FOR MAIN FLOOR CURTAIN WALL ELEVATIONS			
	6. ALL INT WALLS TO BE IW1, U.N.O			
ngram	7. ALL EXT WALLS TO BE EM3 U.N.O.			
	8. ALL MILLWORK TO BE DESIGNED/COORD BY CLIENT			

EXTERIOR FINISH LEGEND



CANOPY PROJECTION



ISSUE FOR DEVELOPMENT PERMIT

APARTMENT DOWS Y ANSEREAU ME 6202 65 ST. AND 6302 65 ST., BEAUMONT, AB T4X 0J3



VOSHELL ARCHITECTURE AND DESIGN, INC.

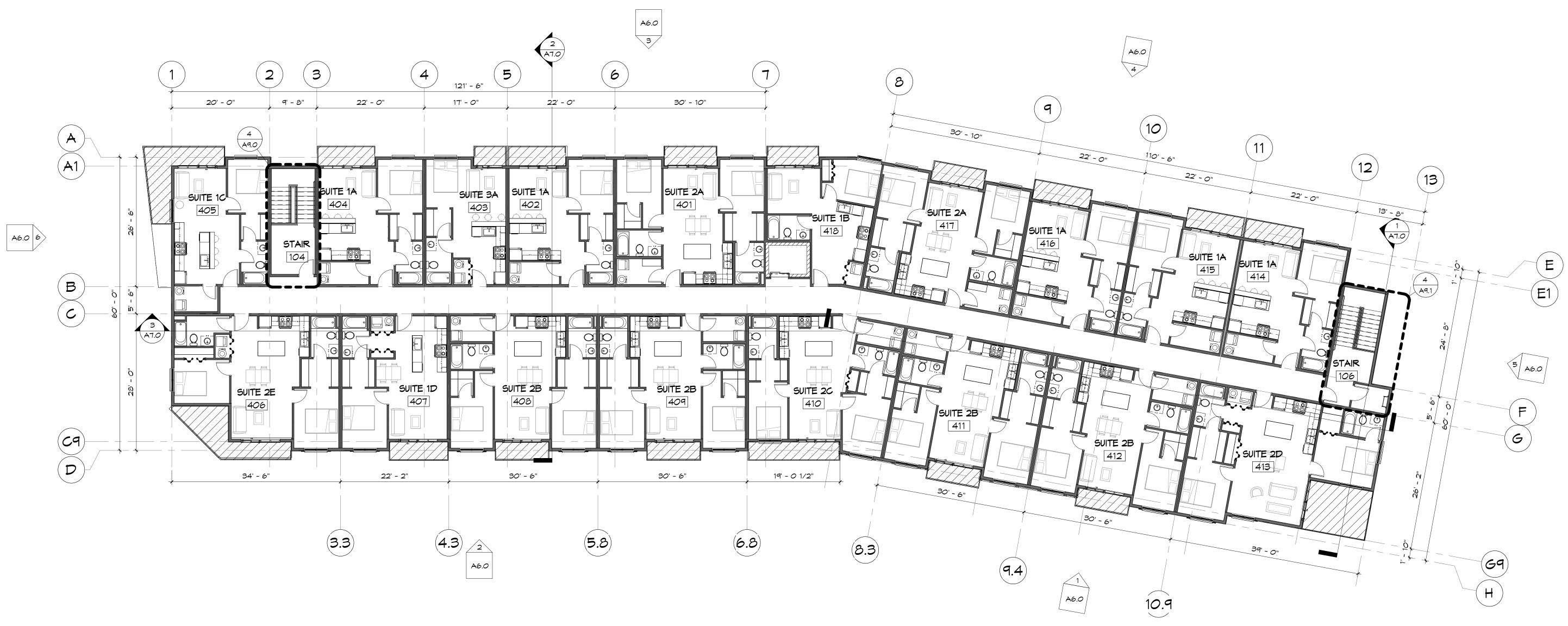
9906-104 Street Fort Saskatchewan, AB TBL 2EB

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Date:	2024-10-07
Drawn by:	EA
Checked by:	СК
Scale:	As indicated
File:	24-008
Sheet Name:	

OVERALL 3RD FLOOR PLAN







Approved: October 10, 2024 Permit No: 2024-037

City of Beaumont Development Authority

Aleshia Ingram



GENERAL NOTES

1. SEE A0.1 & A0.2 FOR ALL NOTES, SYMBOL LEGENDS, AND ASSEMBLY TYPES

2. SEE A13.0 FOR DR AND WDW SCHED

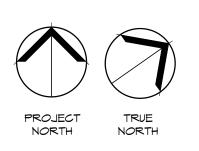
3. INT DIMS ARE TAKEN TO FACE OF STUD, U.N.O.

- 4. FE LOCATIONS- SEE MECH
- 5. SEE A6.1 FOR MAIN FLOOR CURTAIN WALL ELEVATIONS
- 6. ALL INT WALLS TO BE IM1, U.N.O
- 7. ALL EXT WALLS TO BE EM3 U.N.O.
- 8. ALL MILLWORK TO BE DESIGNED/COORD BY CLIENT

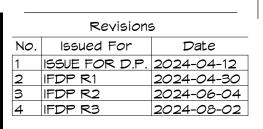
EXTERIOR FINISH LEGEND



CANOPY PROJECTION



ISSUE FOR DEVELOPMENT PERMIT



ARTMENT AP DOWS ANSEREAU ME 6202 65 ST. AND 6302 65 ST., BEAUMONT, AB T4X 0J3 HOSH VI VOSHELL ARCHITECTURE AND DESIGN, INC. 9906-104 Street Fort Saskatchewan, AB TBL 2EB

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Date: ______ Drawn by:

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Sheet No:

OVERALL 4TH

FLOOR PLAN

A3.5

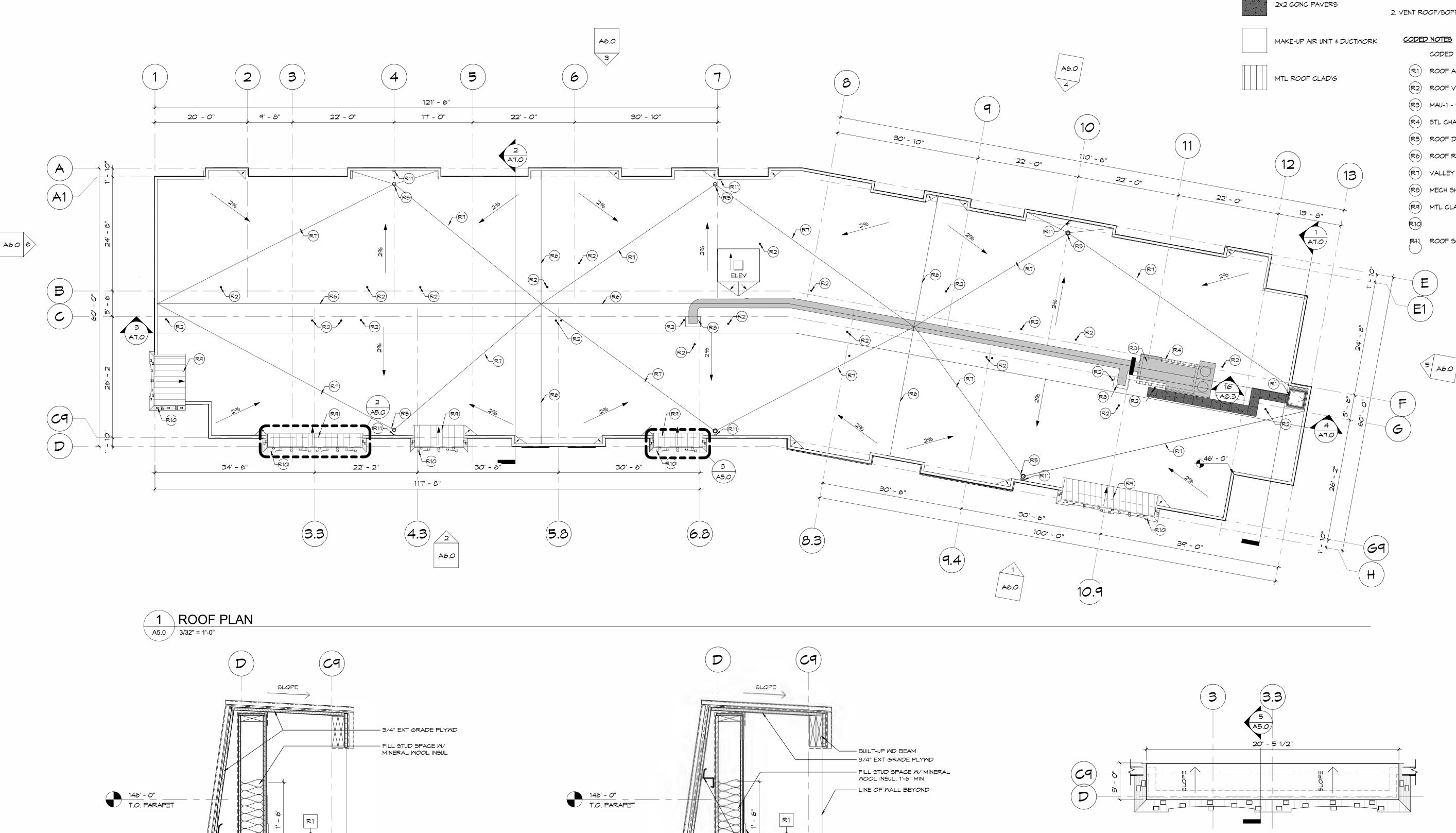
2024-10-07

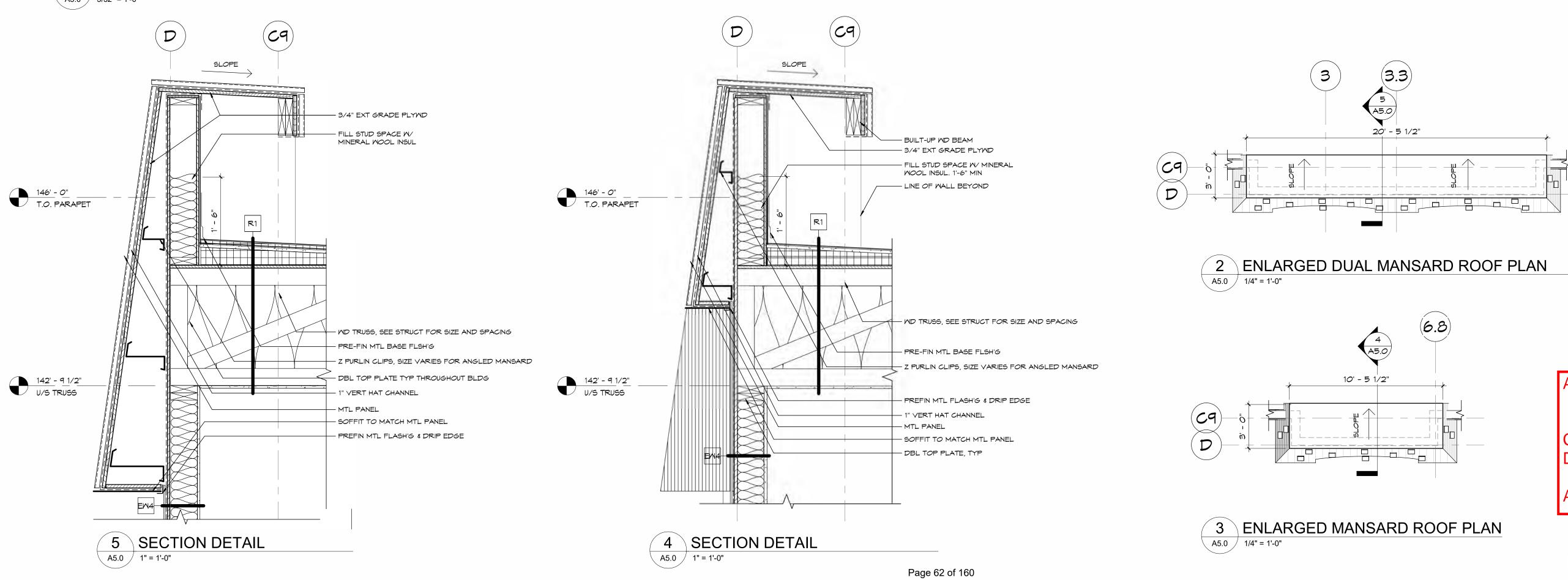
As indicated

24-008

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ROOF LEGEND

GENERAL NOTES 1. CONTR TO SEE ELEC AND MECH, TYP.

2. VENT ROOF/SOFFIT AREAS AS PER MANF. RECOMMENDATION.

Revisions No. Issued For Date ISSUE FOR D.P. 2024-04-12 2024-04-30 2024-06-04 2024-08-02 IFDP R1 3 IFDP R2 4 IFDP R3

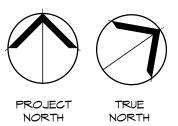
H

CODED NOTES

CODED NOTES SHOWN PERTAIN TO THIS SHEET ONLY

- (R1) ROOF ACCESS HATCH
- (R2) ROOF VENT PENETRATION
- (R3) MAU-1 SEE MECH.
- (R4) STL CHANNEL BASE SET ON ROOF CURB
- (R5) ROOF DRAIN
- (R6) ROOF RIDGE HIGH POINT
- (R7) VALLEY LINE
- (R8) MECH SHAFT ROOF PENETRATION
- (R9) MTL CLAD'G ROOF

RAL ROOF SCUPPER



Approved: October 10, 2024 Permit No: 2024-037

City of Beaumont Development Authority

Aleshia Ingram

ISSUE FOR DEVELOPMENT PERMIT

DANSEREAU MEADOWS APARTMENT	6202 65 ST. AND 6302 65 ST., BEAUMONT, AB T4X 0J3
VOSHELL ARCH AND DESIG 9906- 1045 Fort Saskatchewan, 780.589.4747 www	N, INC. Street AB TBL 2EB
Date: 2	024-10-07
Drawn by:	
Checked by:	DK CK

Date:	2024-10-07
Drawn by:	DK
Checked by:	CK
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Sheet Name:	

ROOF PLAN

A5.0

Sheet No:



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GENERAL NOTES

1. ANY AND ALL EXTERIOR SIGNAGE SHOWN IS TO BE FOR GRAPHIC PURPOSES ONLY AND IS NOT PART OF THIS DEVELOPMENT PERMIT SUBMISSION. FUTURE TENANTS TO APPLY FOR SEPARATE PERMIT AT TIME OF TENANT IMPROVEMENT.

2. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR CURTAIN WALLS PRIOR TO INSTALLATION

ENTRANCE FEATURE CHARACTERISTICS:

	NIRANOLI LATURE CHARACTERIST	<u>105:</u>
50	DUTH FRONTAGE: TOTAL WINDOW AND DOOR WIDTH TOTAL LOT WIDTH % OF LOT WIDTH COVERED	= 51.16m = 73.3m = 69.8%
	TOTAL WDWS AND DOORS AREA TOTAL FACADE AREA % OF FACADE AREA COVERAGE	= 226.5m ²
∕NE	EST FRONTAGE: TOTAL WINDOW AND DOOR WIDTH TOTAL LOT WIDTH % OF LOT WIDTH COVERED	= 10.4m = 34.8m = 30.0%
	TOTAL WDWS AND DOORS AREA TOTAL FACADE AREA % OF FACADE AREA COVERAGE	= 5 1.2m ²
E/	AST MALL GLAZING: TOTAL GLAZING AREA TOTAL WALL AREA % OF GLAZING	= 22.39m² = 227.1m² = 09.8%

CODED NOTES

- CODED NOTES SHOWN PERTAIN TO THIS SHEET ONLY
- (E1) HARDIE ARCHITECTURAL PANEL ARCTIC WHITE
- (E2) HARDIE ARCHITECTURAL PANEL DEEP OCEAN
- (E3) HARDIE ARCHITECTURAL PANEL AGED PEWTER
- (E4) HARDIE ARCHITECTURAL TRIM BOARDS
- (E5) STONE VENEER GREY
- (E6) METAL ROOFING GREY
- (E7) VINYL SIDING WHITE
- (E8) VINYL SIDING BLUE
- (E9) VINYL SIDING GREY
- (E11) FENCED DAYCARE AREA
- (E12) 1.5M DEEP BLACK MTL CLADDING STOREFRONT CANOPY
- (E13) PRE-FIN MTL BAND GREY
- (E14) CONC. COL, SEE STRUCT
- (E16) MANSARD WIDE SNO-SAFE SNOW GUARDS, INSTALL AS PER MANUF. RECOMMENDATION, TYP.
- (E17) FUTURE PROJECTION SIGN BY TENANT



City of Beaumont Development Authority

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Revisions No. Issued For Date ISSUE FOR D.P. 2024-04-12 IFDP R1 2024-04-30 IFDP R2 2024-06-04 2024-08-02 2024-09-03 IFDP R3 IFDP R4



6202 65 ST. AND 6302 65 ST., BEAUMONT, AB T4X 0J3

AND DESIGN, INC.

9906-104 Street

Fort Saskatchewan, AB TBL 2EB 780.589.4747 | www.vosharch.ca

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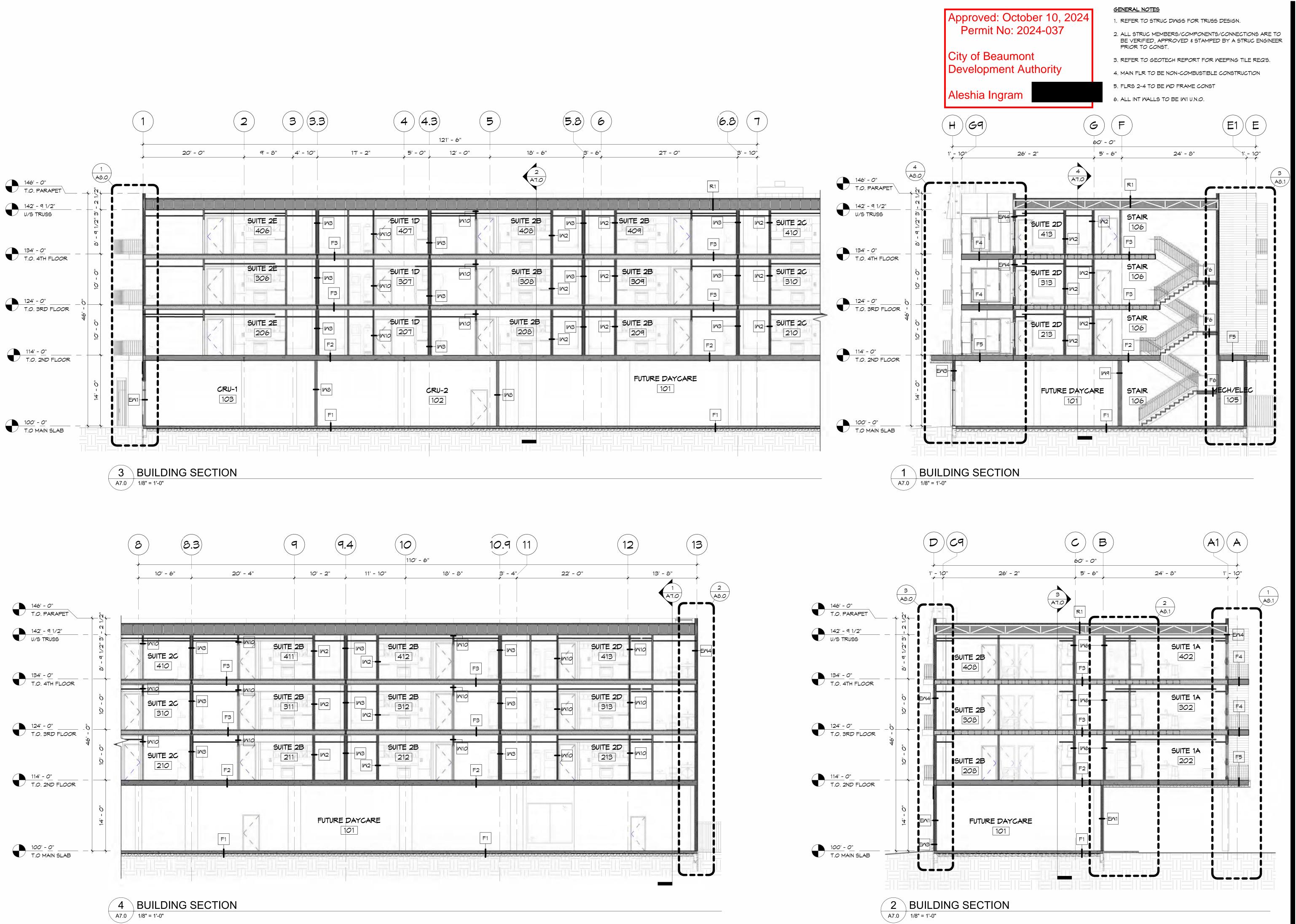
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BUILDING

ELEVATIONS

A6.0



ISSUE FOR DEVELOPMENT PERMIT

NO.	Revisions	Date
NO.	199060 1 01	Dale
1	ISSUE FOR D.P.	2024-04-12
2	IFDP R1	2024-04-30
3	IFDP R2	2024-06-04
4	IFDP R3	2024-08-02
4	IFDP R3	2024-08-02

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Sheet No:

BUILDING

SECTIONS

A7



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6202 65 ST. AND 6302 65 ST., BEAUMONT, AB T4X 0J3

9906-104 Street Fort Saskatchewan, AB T8L 2E8 780.589.4747 | www.vosharch.ca

2024-10-07

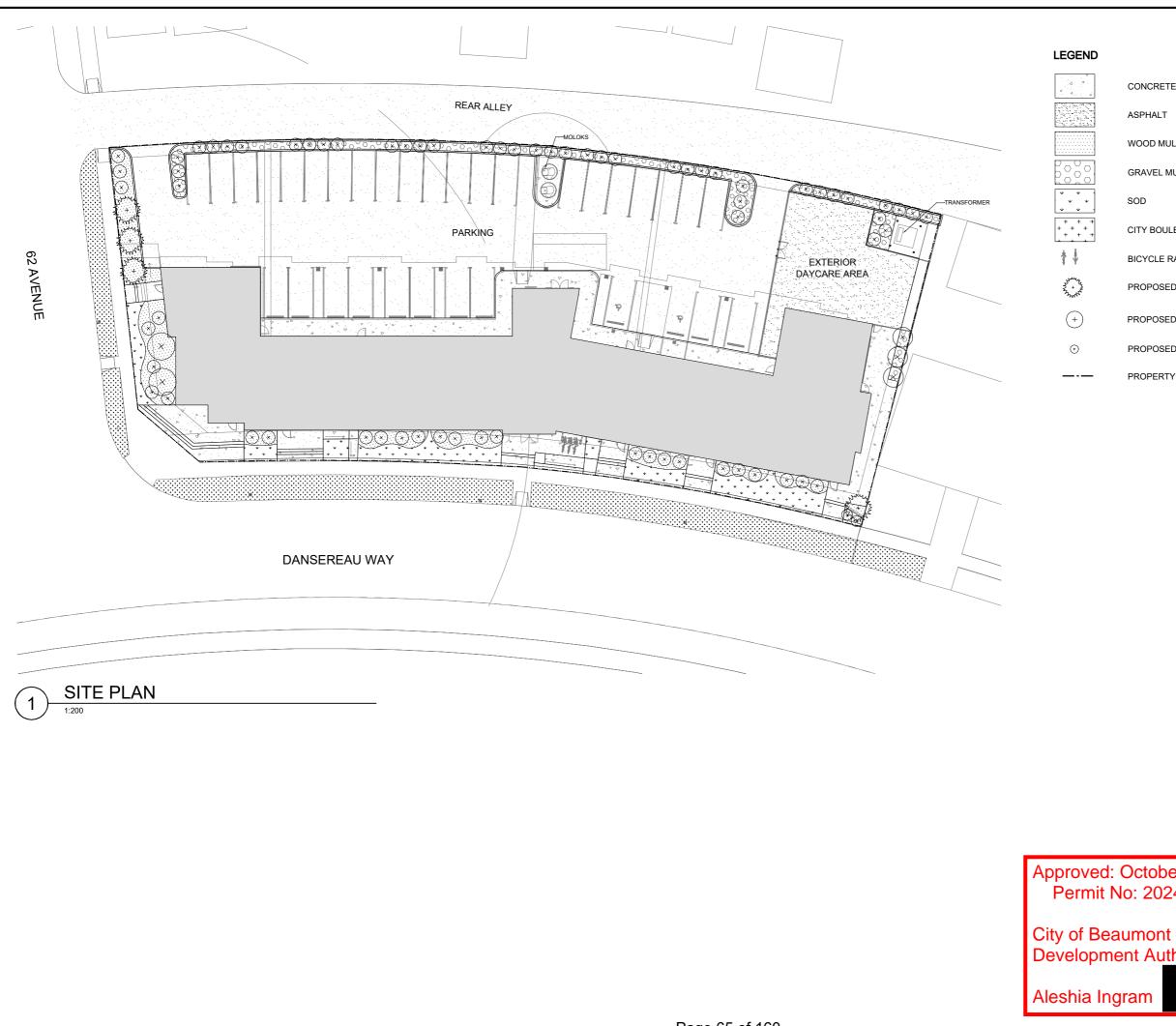
As indicated

24-008

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VOSHELL ARCHITECTURE AND DESIGN, INC.



Page 65 of 160

CONCRETE

ASPHALT

WOOD MULCH

GRAVEL MULCH

SOD

CITY BOULEVARD

BICYCLE RACK

PROPOSED TREES (CONIFEROUS)

PROPOSED TREES (DECIDIOUS)

PROPOSED SHRUBS AND GRASS

PROPERTY LINE



Development Authority



PROJECT :

DANSEREAU MEADOWS

6202, 65 ST. AND 6302, 65 ST. BEAUMONT, ALBERTA

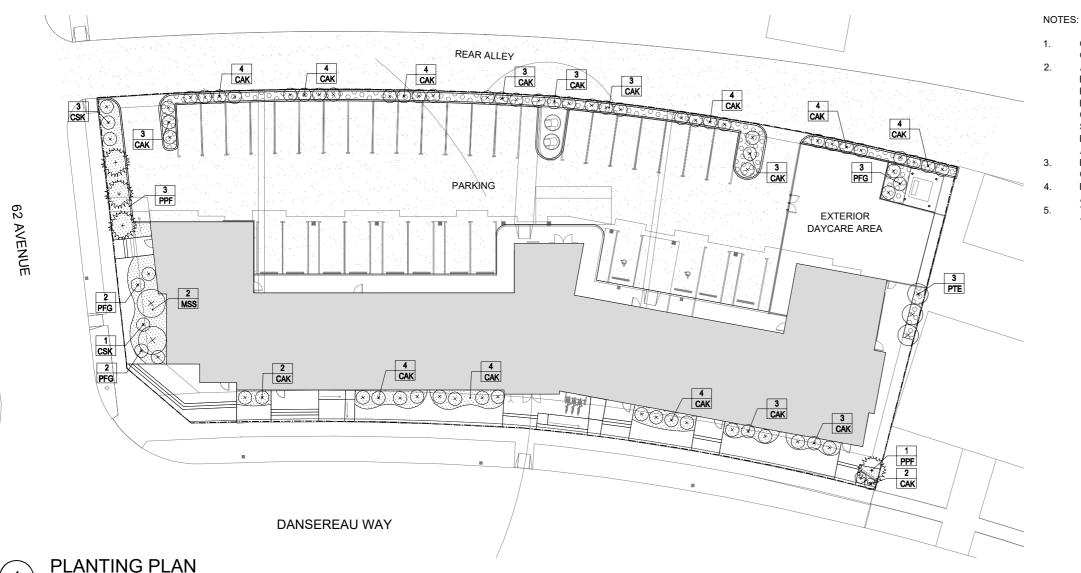
R4		04.10.2024
R3		01.08.2024
R2		11.04.2024
R1		27.03.2024
No.	Description	Date

SITE PLAN

Project Number: -Scale: DRAWN BY: RK Checked By: DD Date: -

Ν

Sheet No. L-101



KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
DECIDI	1				
MSS	2	Malus 'Spring Snow'	Spring Snow Flowering Crab	6m. 4.5m Dia	FULL, DENSE
PTE	3	Populus tremula 'Erecta'	Swedish Aspen		
CONIFE	EROUS T	REES			
PPF 4 Picea pungens 'Fastigiata' Columnar Blue Color		Columnar Blue Colorado Spruce	6m. 2.5m Dia	FULL, DENSE	
SHRUBS					
PFG	7	Potentilla Fruticosa 'Goldfinger'	Goldfinger Potentilla	1.0m x 1.0m	FULL, DENSE
CAK	61	Calamagrostis Acutiflora	Karl Foerster Reed Grass	0.9m x 0.9m	FULL, DENSE
CSK	4	Cornus sericea 'Kelseyi'	Kelsey's Dwarf Red- Osier Dogwood	0.7m x 0.7m	FULL, DENSE

	CSK	4	Cornus sericea 'Kelseyi'
(PLA	NT LIST
\langle	<u>ح</u> ک	-	

1

1:200

NUMBER OF	NUMBER OF	NUMBER OF	NUMBER OF	NUMBER OF
TREES REQUIRED	TREES PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED	GRASSES PROVIDED
9	9	9	11	

COST ESTIMATE FOR PLANTING

BOTANICAL NAME COMMON NAME		COST PER TREE	TOTAL COST
DECIDIOUS TREES			
Spring Snow Flowering Crab	2	\$225	\$450
Swedish Aspen	3	\$225	\$675
Columnar Blue Colorado Spruce	4	\$500	\$2000
Goldfinger Potentilla	7	\$60	\$420
Karl Foerster Reed Grass	61	\$60	\$3660
Kelsey's Dwarf Red- Osier Dogwood	4	\$60	\$240
	Trees St	ubtotal	\$3125
	Shrubs S	Subtotal	\$4320
	Plantatin	ig Total	\$7445
	Spring Snow Flowering Crab Swedish Aspen Columnar Blue Colorado Spruce Goldfinger Potentilla Karl Foerster Reed Grass	Spring Snow Flowering Crab 2 Swedish Aspen 3 Columnar Blue Colorado Spruce 4 Goldfinger Potentilla 7 Karl Foerster Reed Grass 61 Kelsey's Dwarf Red- Osier Dogwood 4 Trees Str Shrubs Str	COMMON NAME QTY PER TREE Spring Snow Flowering Crab 2 \$225 Swedish Aspen 3 \$225 Columnar Blue Colorado Spruce 4 \$500 Goldfinger Potentilla 7 \$60 Karl Foerster Reed Grass 61 \$60

COST ESTIMATE FOR SOFTSCAPING

SUPPLY & INSTALLATION OF	AREA Sq.m	DEPTH m	VOLUME Cubic m	COST	PER UNIT	TOTAL
PLANTING BED	187.00	0.45m	84.15	\$65	Cubic m	\$5470
SOD	106.89	-	-	\$20	Sq.m	\$2138
TOP SOIL FOR SOD	106.89	0.2m	21.37	\$65	Cubic m	\$1390
WOOD MULCH	142.56	0.1m	14.25	\$70	Cubic m	\$998
GRAVEL MULCH	105.5	0.075m	7.9	\$120	Cubic m	\$948
				Softscapi	ng Total	\$10,944

ONLY. ASSOCIATION.

TO BE PROTECTED.

City of Beaumont

Aleshia Ingram

TOTAL COST FOR PLANTATION & SOFTSCAPING = \$ 18,389 GST (5%)= \$919

TOTAL LANDSCAPE SECURITY (100% OF LANDSCAPING COST+ GST) = \$19,308

Page 66 of 160

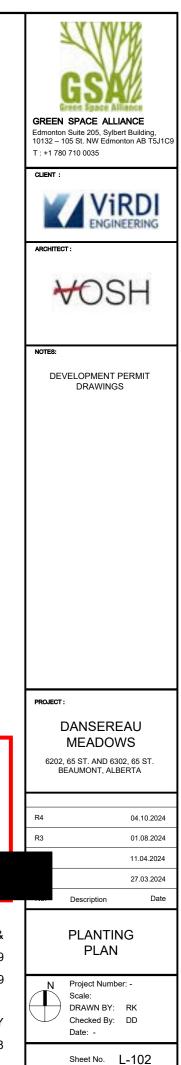
QUANTITIES GIVEN ARE FOR INFORMATION

ALL PLANTS ARE TO BE HEALTHY, FULL, BALANCED, AND EXCEPTIONALLY HEAVY. ALL PLANT MATERIAL SHALL MEET THE HORTICULTURAL STANDARDS OF THE MOST CURRENT EDITION OF THE "GUIDE SPECIFICATIONS FOR NURSERY STOCK" PRODUCED BY THE CANADIAN NURSERY TRADE

PROVIDE TURF IN ALL DISTURBED AREAS NOT OTHERWISE PLANTED OR PAVED. PROVIDE WOOD MULCH AROUND ALL THE TREES AS SHOWN IN THE PLAN AS WELL AS IN DETAILS. THE EXISTING TREES IN THE CITY OWNED LANDS

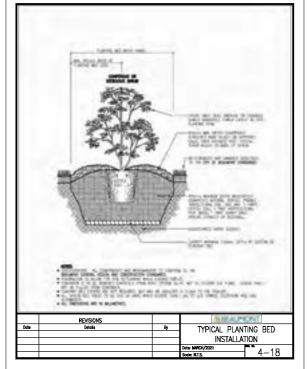


Development Authority



City of Beaumont Development Authority



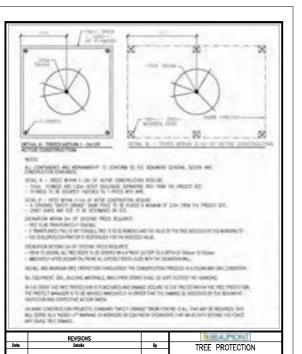


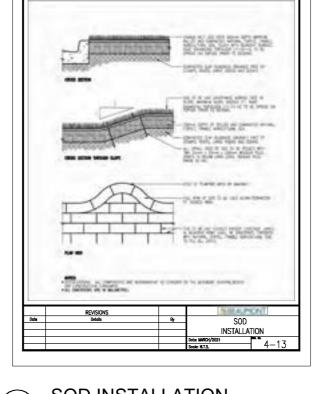
4

NTS

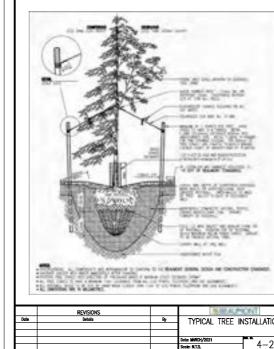
TYPICAL PLANTING BED INSTALLATION

Deta Provide P		Revisions By Typical Tree INSTALLATION Dete Between Years Typical Tree INSTALLATION
1 TREE PROTECTION ZONE	2 SOD INSTALLATION	







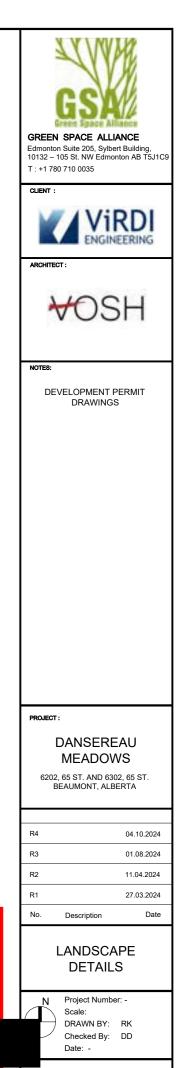




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Approved: October 10, 2024 Permit No: 2024-037

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Sheet No. L-103

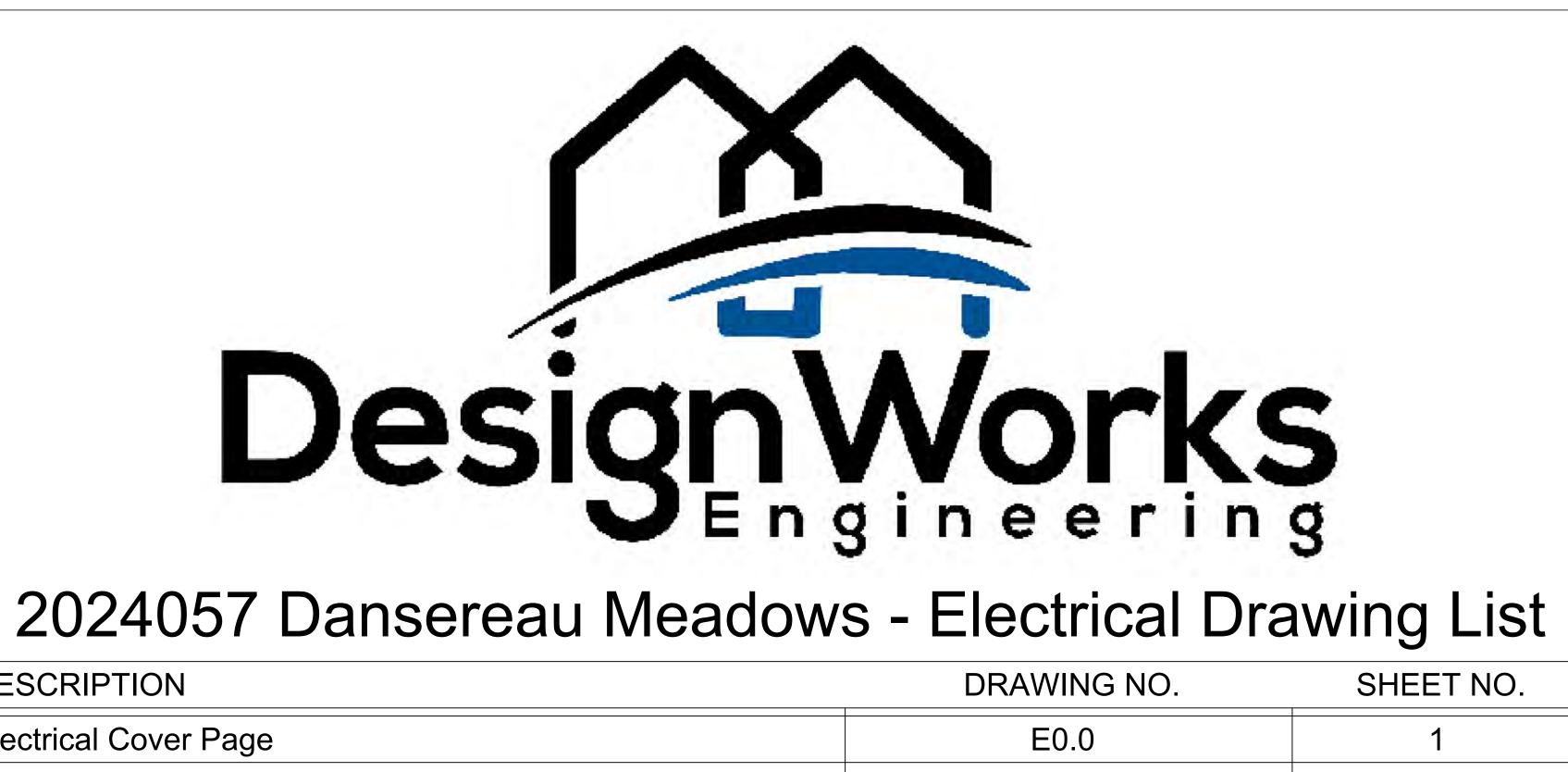
DESCRIPTION

Electrical Cover Page

Electrical Site Plan

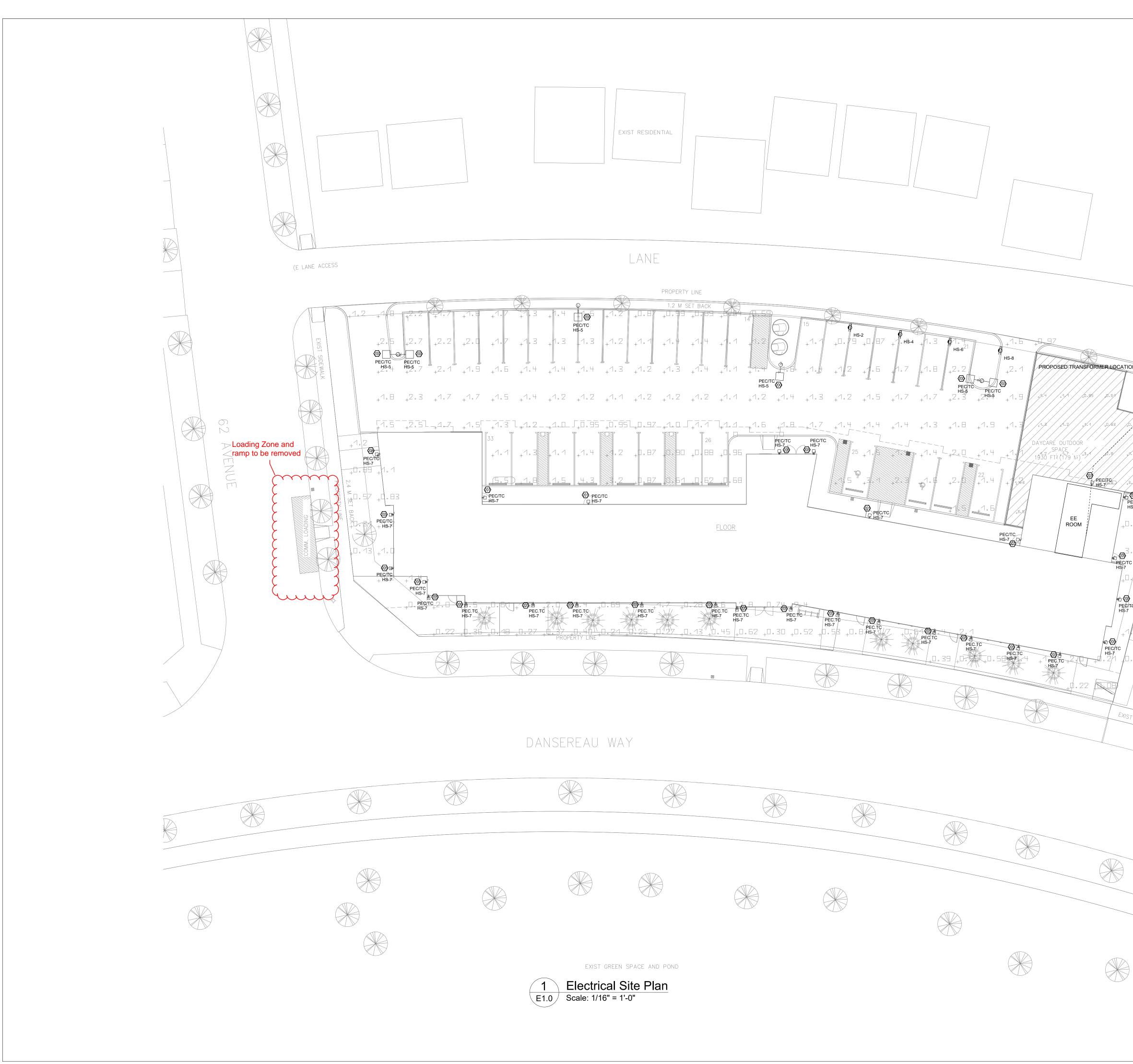
Lighting Schedule & Details

Electrical Specifications



	•
E1.0	2
E2.0	3
E3.0	4
	•

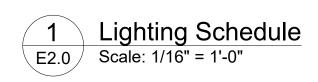
Approved: October 10, 2024 Permit No: 2024-037 City of Beaumont Development Authority		P: 780 244 0252 F: 780 244 Suite 1250 10130 103 St N Edmonton, AB T5J 3N9 info@designworkseng.co	0252 NW m
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	No.	DO NOT SCALE THIS DRAWING	Date
	1	ISSUED FOR DEVT. PLAN	2024-04-29
	2 3	RE-ISSUED FOR DEV'T PERMIT RE-ISSUED FOR DEV'T PERMIT	2024-07-31 2024-10-08
	CLIENT	PERMIT	
	CHECK		
	ENGINE	ER: HAYDAR AL DAHHA	N, P.ENG.
	PROJE	CT #: 2024057	
	SCALE:	AS NOTED	
	PROJECT	г	
		DANSEREA	I
	1.1		
		MEADOWS	
		6202 65 St. and 6302 65	
		6202 65 St. and 6302 65 BEAUMONT, AB	
	DESCRIP	BEAUMONT, AB	
	DESCRIP	BEAUMONT, AB	
	DESCRIP	BEAUMONT, AB	St.
	DESCRIP	BEAUMONT, AB TION Electrical Cover Page	St.



Approved: October 10, 2 Permit No: 2024-037 City of Beaumont Development Authority Aleshia Ingram	2024 P: 780 244 0252 F: 780 244 0252 Suite 1250 10130 103 St NW Edmonton, AB T5J 3N9 info@designworkseng.com www.designworkseng.com COPYRIGHT 2024 DESIGN WORKS ENGINEERING LTD.
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	No. Description Date 1 ISSUED FOR DEVT. PLAN 2024-04-29 2 RE-ISSUED FOR DEV'T PERMIT 2024-07-31 3 RE-ISSUED FOR DEV'T PERMIT 2024-10-08
4"C (C/W PULL STRING) FOR PRIMARY POWER CONNECTION CONFIRM EXACT REQUIREMENTS WITH THE UTILITY COMPANY PRIOR TO ROUGH-INS.	
	ARCHITECT
22 +0.09 2 91 EXIST RESIDENTIAL	CLIENT
- +0.25 +0.25 572 SIDEWALK	SEAL PERMIT
	DRAWN BY:RADPCHECKED BY:SHERRY KALDASENGINEER:HAYDAR AL DAHHAN, P.ENG.PROJECT #:2024057
	SCALE: AS NOTED PROJECT DANSEREAU MEADOWS 6202 65 St. and 6302 65 St.
	BEAUMONT, AB DESCRIPTION Electrical Site Plan
	DRAWING NO. E1.0

	LUMINAIRES	LED POLE
	LAMP	LED, 3500K
	LUMENS	7120 LM
	BALLAST	-
	HOUSING	-
	LENS	-
	INPUT WATTAGE	57 W
	MOUNTING	POLE LIGHT
	SPECIAL REQUIREMENTS	-
	ACCEPTABLE PRODUCTS	COOPER LIGHTING - GALN-SA1C-740-U-T4W (OR APPROVED EQUIVALENT)
	LUMINAIRE TYPE	200
	1	

	LUMINAIRES	WALL MOUNT LED
	LAMP	LED
	LUMENS	2102 LM
	BALLAST	-
- TOP	HOUSING	-
	LENS	-
	INPUT WATTAGE	18.2 W
	MOUNTING	WALL MOUNTED
	SPECIAL REQUIREMENTS	-
	ACCEPTABLE PRODUCTS	COOPER LIGHTING - XTOR2B-W (OR APPROVED EQUIVALENT)
	LUMINAIRE TYPE	201
	LUMINAIRES	WALL DOWNLIGHT
	LAMP	LED
	LUMENS	500 LM
	BALLAST	-
the second se	HOUSING	-
	LENS	-
	INPUT WATTAGE	10 W
	MOUNTING	WALL MOUNTED
	SPECIAL REQUIREMENTS	-
	ACCEPTABLE PRODUCTS	UNILAMP - 5102-7-3-435-XX (OR APPROVED EQUIVALENT)
	LUMINAIRE TYPE	205



Luminaire list (Site 1)								
Index	Manufacturer	Article name	ltem number	Fitting	Luminous flux	Maintenance factor	Connected load	Quantity
1	Cooper Lighting	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 1050mA LIGHTSQUARE WITH 16 LEDS AND TYPE IV WIDE OPTICS	GALN-SA1C-74 0-U-T4W	16x	7120 lm	0.80	57 W	6
2	Cooper Lighting	CROSSTOUR 18W WALL MOUNT LED	XTOR2B-W	1x EATON LED 4000K	2102 lm	0.80	18.2 W	5
3	Unilamp	Maxi CORE — Wall Downlight	5102-7-3-435 -XX	1x TC-TEL 32W/840	2400 lm	0.80	35.2 W	24

			Approved: October 10, 2024 Permit No: 2024-037 City of Beaumont Development Authority Aleshia Ingram		P: 780 244 Suite 12 Edmc info@d www.d	A 0252 F: 780 244 50 10130 103 St Nonton, AB T5J 3N9 esignworkseng.com copyRight 2024 Vorks ENGINEERING LTI	0252 IW n n
nce	Connected load	Quantity		PI ANE WITHOUT THIS UNLESS	ROPERTY OF E MAY NOT BE THE DIRECT N DRAWING IS N IT IS SIGNED A	S AND DESIGN ARE THE E DESIGN WORKS ENGINEEI REPRODUCED IN ANY WA WRITTEN PERMISSION OF ENGINEERING LTD. NOTES IOT TO BE USED FOR COM IND SEALED, AND DRAWIN IND STRUCTION IN THE TABL	RING LTD. Y OR FORM DESIGN WORKS
	57 W	6			DO NC	T SCALE THIS DRAWING.	
	18 O. W	F		No.	ISSUED F	SCRIPTION	Date 2024-04-29
	18.2 W 35.2 W	24		2) FOR DEV'T PERMIT) FOR DEV'T PERMIT	2024-07-31 2024-10-08
				ARCHITEC			
				SEAL DRAWN CHECK ENGINI PROJE SCALE PROJEC	ED BY: ER: CT #: DAN 6202 65 BE	PERMIT RADP SHERRY KALDAS HAYDAR AL DAHHAN 2024057 AS NOTED SEREAU St. and 6302 65 AUMONT, AB g Schedu Details	J St.
				DRAWIN		Ξ2.0	SHEET 3 4

INT .1. .2.	ENT: PROVIDE COMPLETE, FULLY TESTED AND OPERATIONAL ELECTRICAL SYSTEMS TO MEET REQUIREMENTS DESCRIBED HEREIN AND IN COMPLETE ACCORD WITH APPLICABLE CODES AND ORDINANCES. FOLLOW MANUFACTURER'S RECOMMENDED INSTRUCTIONS AND PROCEDURES FOR THE INSTALLATION OF ALL
	EQUIPMENT, DEVICES AND FIXTURES SUPPLEMENTED BY REQUIREMENTS OF CONTRACT DOCUMENTS.
.1.	UPON AWARD OF CONTRACT, SUBMIT A COMPLETE PROCUREMENT SCHEDULE INDICATING MANUFACTURER, MODEL OF EQUIPMENT, PROJECTED ORDERING, SHOP DRAWING SUBMITTAL DATES AND DELIVERY DATES OF ALL PRODUCTS TO MEET CONSTRUCTION SCHEDULE.
.2. .3.	PRIOR TO ORDERING OF ANY PRODUCT, SUBMIT SHOP DRAWINGS FOR REVIEW AS SPECIFIED. SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL EQUIPMENT AS REQUIRED IN EACH SECTION OF SPECIFICATION. REVIEW AND STAMP SHOP DRAWINGS PRIOR TO SUBMITTING SHOP DRAWINGS TO CONSULTANT. CONTRACTOR'S
.4.	REVIEW SHALL CHECK FOR COMPLIANCE WITH CONTRACT DOCUMENTS. SHOP DRAWINGS SHALL INDICATE MATERIALS, METHODS OF CONSTRUCTION, ATTACHMENT OF SUPPORTING WIRING, DIMENSIONS, CAPACITIES, ELECTRICAL PERFORMANCE CHARACTERISTICS AND OTHER INFORMATION
.5.	NECESSARY TO COMPLETE THIS WORK. PROVIDE WIRING, SINGLE LINE AND SCHEMATIC DIAGRAMS FOR ELECTRICAL CONTROL SYSTEMS AND WHERE OTHERWISE APPLICABLE. INCLUDE WIRING DRAWINGS OR DIAGRAMS SHOWING INTERCONNECTION AMONG WORK
6.	OF DIFFERENT SECTIONS. ORDER PRODUCTS TO CONFORM WITH REVISED SHOP DRAWINGS.
LAE 1.	ELING AND IDENTIFICATION: IDENTIFY ALL PANELBOARDS, SWITCHGEAR, TRANSFORMERS, DISCONNECTS, CONTACTORS, JUNCTION BOXES, COMMUNICATION EQUIPMENT, FIRE ALARM COMPONENTS, MOTORS, INSTRUMENTS, CONTROL DEVICES, INCOMING SERVICE AND COMMUNICATION CABLES WITH LABELS. LABELS SHALL BE 118mm x 31mm ADHESIVE LAMICOID
2. 3.	NAMEPLATES. PROVIDE TYPEWRITTEN PANELBOARD CIRCUIT DIRECTORY INDICATING LOADS, LOCATIONS AND CIRCUIT NUMBERS UTILIZED. PLACE CIRCUIT DIRECTORY IN A METAL HOLDER C/W PLASTIC COVER ON THE INSIDE OF PANELBOARD. ALL COMMON AREA RECEPTACLES AND SWITCH COVER PLATES TO BE C/W LABELS INDICATING PANEL NAME AND
4.	CIRCUIT NUMBER. ALL RECESSED JUNCTION BOXES TO BE LABELED IN VISIBLE INDELIBLE INK. LABELING AT MINIMUM TO INCLUDE FUNCTION OF JUNCTION BOX (EQUIPMENT NAME, FIRE ALARM, EMERGENCY OR EXIT), PANEL NAME AND CIRCUIT
5.	NUMBER. LABELS TO BE LOCATED ON THE SIDE OF JUNCTION BOX AND ON THE COVER PLATE. PROVIDE LABELING FOR ALL CONDUITS AND CABLING. CONDUITS AND CABLING TO BE MINIMUM LABELED AT BOTH ENDS, ON EITHER SIDE OF FIRE SEPARATION PENETRATION, AND EVERY 30m OF RUN. LABELING BY READILY VISIBLE
6.	COLOR CODE IS ACCEPTABLE. PROVIDE A LAMICOID LABEL NAMING THE CONSULTING ELECTRICAL ENGINEER. THIS LABEL SHALL BE LOCATED ON THE MAIN DISTRIBUTION EQUIPMENT.
7. 8.	CONDUITS, CONDUCTORS AND WIRES SHALL BE LABELED IN VISIBLE INDELIBLE INK AT PANEL AND ALL JUNCTION BOXES INDICATING DEVICE BEEN FED, PANEL NAME AND CIRCUIT NUMBER. LABELS SHALL IDENTIFY ALL ELECTRICAL EQUIPMENT MOUNTED AND CONNECTED. PROVIDE COLOR CODING OF
9.	CONDUIT, JUNCTION BOXES, ETC. TELECOMMUNICATION SYSTEM SHALL BE PROVIDED WITH LABELS IN ACCORDANCE WITH UTILITY COMPANIES REQUIREMENTS AND AS PER TIA/EIA 607-A.
PR(DJECT RECORD DRAWINGS: KEEP ON SITE ELECTRICAL DRAWINGS FOR RECORD PURPOSES. MARK CLEARLY IN RED ALL CHANGES AND
2.	DEVIATIONS FROM ORIGINAL DRAWINGS AS THE JOB PROGRESSES. MARK LOCATIONS OF PANELS, BOXES, EQUIPMENT, UNDERGROUND SERVICES AND FEEDERS TO LIGHTING, DISTRIBUTION, COMMUNICATION AND SIGNAL PANELS. MARK ALL DEVIATIONS FROM BRANCH CIRCUIT NUMBERS SHOWN ON ENGINEER'S DRAWINGS AND/OR REVISIONS
MA 1.	COVERED BY AUTHORIZED CHANGES. NTENANCE MANUAL: PROVIDE OWNER MAINTENANCE MANUAL WHICH INCLUDES SPECIFICATION, PERFORMANCE AND MAINTENANCE
	(WEEKLY/MONTHLY/YEARLY) DETAILS FOR ALL ELECTRICAL EQUIPMENT SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR. PROVIDE ONE(1) COPY FOR CONSULTANT REVIEW AND APPROVAL WHERE REQUIRED BY OWNER. PROVIDE THREE(3) COPIES TO OWNER AS REQUIRED. MANUALS ALSO INCLUDE CONTRACTOR/SUPPLIER CONTACT INFORMATION, WARRANTY DOCUMENTS, WORKS INSPECTION CERTIFICATES AS PROVIDED BY INSPECTION
	AUTHORITIES, AND INSTALLED EQUIPMENT TESTING RESULT AND CERTIFICATION DOCUMENTS. ORGANIZE MANUAL BY SYSTEM AND APPROPRIATE TABBED SECTIONS (I.E SHOP DWGS., TEST RESULTS, MAINTENANCE).
RE(1.	GULATORY REQUIREMENTS: COMPLY WITH SAFETY CODES ACT AND RULES AND REGULATIONS MADE PURSUANT THERETO, INCLUDING LATEST EDITION OF CANADIAN ELECTRICAL CODE AND PROVINCIAL BUILDING CODE.
2. 3.	SUBMIT TO AUTHORITY HAVING JURISDICTION AND ALL UTILITY COMPANIES, NECESSARY NUMBER OF DRAWINGS AND SPECIFICATIONS FOR EXAMINATION AND APPROVAL PRIOR TO COMMENCEMENT OF WORK. PAY ASSOCIATED FEES AND TAXES. SUBMIT TO ENGINEER, COPY OF ELECTRICAL PERMIT OBTAINED FROM AUTHORITY HAVING JURISDICTION.
PR(1.	DDUCTS: ALL PRODUCTS AND MATERIALS SHALL BE NEW, FREE OF DEFECTS. DEFECTIVE PRODUCTS AND MATERIALS SHALL
	BE REJECTED REGARDLESS OF PREVIOUS INSPECTION. CONTRACTOR SHALL REPLACE ALL DEFECTIVE MATERIAL AND PRODUCT AT THEIR OWN EXPENSE, AND SHALL BE RESPONSIBLE FOR ANY RESULTING DELAYS AND ASSOCIATED EXPENSE AS A RESULT OF PRODUCTS BEING REJECTED.
2. 3.	ALL ELECTRICAL PRODUCTS SHALL BE TESTED AND C.S.A. APPROVED. WHERE A PRODUCT IS NOT C.S.A APPROVED, PROVIDE WRITTEN APPROVAL FROM LOCAL REGULATORY AUTHORITY. PAY ALL APPLICABLE FEES LEVIED. ALL FIRESTOPPING AND SMOKE SEALS SHALL BE LISTED BY UNDERWRITERS' LABORATORIES OF CANADA (ULC) OR UNDERWRITERS LABORATORIES (UL) THAT MEET THE REQUIREMENTS OF ULC-S115-M ARE GIVEN A CUL LISTING AND ARE PUBLISHED BY UL IN THEIR "PRODUCTS CERTIFIED FOR CANADA (CUL) DIRECTORY AND SHALL FORM A DRAFT TIGHT BARRIER TO RETARD THE PASSAGE OF SMOKE, FLAME AND HOSE STEAM AS NOTED IN THE APPROPRIATE
4. 5.	CUL/ULC CLASSIFICATION. SIMILAR PRODUCTS TO BE BY SAME MANUFACTURER. PRODUCT HANDLING:
7.1.1. 7.1.2. 7.1.3.	PROTECT AND MAINTAIN ALL PRODUCTS AND WORK UNTIL PROJECT IS COMPLETE AND TURNED OVER TO THE OWNER. PROTECT PRODUCTS AND INSTALLED WORK OF OTHER TRADES. CLEAN UP DIRT, RUBBISH, GREASE ETC. RESULTING FROM THIS WORK FROM ALL SURFACES, INCLUDING INSIDE CABINETS, EQUIPMENT ENCLOSURES, PANELS ETC. ON A REGULAR BASIS. ALL EQUIPMENT MUST REMAIN CLEAN DURING CONSTRUCTION AND MUST BE CLEANED TO "AS NEW" CONDITION PRIOR TO SUBSTANTIAL PERFORMANCE.
WA 1.	RRANTIES: COLLECT AND COMPLETE MANUFACTURERS WARRANTY CERTIFICATES AND SUBMIT ORIGINAL COPIES TO THE
2.	ENGINEER. CONTRACTOR SHALL WARRANT ALL WORK PERFORMED BY HIMSELF AND HIS SUB-CONTRACTORS FOR A PERIOD OF TWO (2) YEARS FOLLOWING OWNER'S ACCEPTANCE OF WORK.
LO(1.	CATION OF OUTLETS AND LUMINAIRES SHOULD IT BE REQUIRED, ALL LIGHTING AND WIRING DEVICE LOCATIONS SHOWN MAY BE REVISED UP TO 10' (3m) TO SUIT CONSTRUCTION AND EQUIPMENT ARRANGEMENT PRIOR TO ROUGH-IN AT NO ADDITIONAL COST TO OWNER.
CO).1.	ORDINATION WITH OTHER TRADE WORK: EXAMINE DRAWINGS AND SPECIFICATION OF OTHER TRADES AND BECOME FULLY FAMILIAR WITH THEIR WORK. PRIOR TO COMMENCING WORK, OBTAIN DECISION FROM CONSULTANT IF ANY CONFLICT EXISTS, OTHERWISE
).2.	ADDITIONAL COMPENSATION WILL NOT BE MADE FOR ANY NECESSARY ADJUSTMENTS. WORK AND EQUIPMENT SHALL BE LAID OUT WITH DUE REGARD TO ARCHITECTURAL, STRUCTURAL AND MECHANICAL COMPONENTS. ARCHITECTURAL AND STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER ELECTRICAL
).3.	DRAWINGS REGARDING LOCATION OF WALLS, DOORS AND EQUIPMENT. ELECTRICAL CONTRACTOR SHALL NOT CUT STRUCTURAL MEMBERS WITHOUT APPROVAL FROM CONSULTANT. REVIEW STRUCTURAL DRAWINGS TO ENSURE THAT REQUIREMENTS FOR ELECTRICAL PENETRATIONS, BLOCK-OUTS, ETC. THROUGH STRUCTURAL ELEMENTS HAVE BEEN ALLOWED.
	ANCHORS, BOLTS, PIPE SLEEVES, HANGER INSERTS, ETC. SHALL BE INSTALLED IN AMPLE TIME TO AVOID DELAYS.
1.1.	UNLESS OTHERWISE NOTED ON DRAWINGS OR CONTRACT DOCUMENTS, THE POWER AND COMMUNICATIONS UTILITY CONNECTION CHARGES OUTSIDE THE PROPERTY BOUNDARIES SHALL BE BOURNE DIRECTLY BY BUILDING OWNER. ELECTRICAL CONTRACTOR SHALL BRING ANY APPLICABLE UTILITIES TO THE PROPERTY LINE IN
.2.	COORDINATION WITH UTILITY COMPANIES. ELECTRICAL CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL INCOMING UTILITIES WITH THE APPLICABLE UTILITY PROVIDER AND ADJUST TRENCHES, FEEDERS AND CONDUITS, PULLBOXES REQUIREMENTS ACCORDINGLY.
.3.	WHERE REQUIRED, THE ELECTRICAL CONTRACTOR, IN CONJUNCTION WITH THE GENERAL CONTRACTOR AND OWNER, SHALL INITIATE THE REQUEST FOR POWER AND COMMUNICATIONS SERVICES WITH THE RESPECTIVE UTILITY COMPANIES, AND PROVIDE ANY REQUIRED ASSISTANCE TO EXPEDITE THE UTILITY APPLICATIONS.
CO	METHODS: NDUIT: GENERAL REQUIREMENTS:
1. 1.1.1. 1.1.2.	EXCEPT WHERE OTHERWISE REQUIRED BY THE CANADIAN ELECTRICAL CODE, PROVIDE CONDUIT OF TYPES
1.1.3. 2.	SPECIFIED IN CONDUIT INSTALLATION SCHEDULE AND SIZES INDICATED ON DRAWINGS OR SPECIFIED HEREIN. WHERE SIZES ARE NOT INDICATED, SELECT PROPER SIZES TO SUIT INTENDED USE, FULFILL WIRING REQUIREMENTS, AND COMPLY WITH CANADIAN ELECTRICAL CODE. MATERIAL:
1.2.1. 2.1.1.1 2.1.1	METALLIC CONDUIT AND TUBING:
2.1.1 2.1.1.1	COATING OF PVC. 1.1.3. RIGID ALUMINUM CONDUIT: WITH FACTORY APPLIED, CLOSED-END THREAD PROTECTORS.
2.1.1 1.1.2. 2.1.1.2 2.1.1.2	10mm DIAMETER. NON-METALLIC CONDUIT: .1. RIGID TYPE EB1 PVC CONDUIT: TO CSA C22.2 NO. 211.1
2.1.1.2 2. 1.2.1.	 INSTALLATION: INSTALL CONDUIT CONCEALED IN WALLS, FLOORS, CEILINGS, ABOVE SUSPENDED CEILINGS AND UNDERGROUND, EXCEPT IN FOLLOWING ROOMS:
2.1.2.1 2.1.2.1 1.2.2.	1. MECHANICAL AND ELECTRICAL ROOMS
1.2.2. 1.2.3. 1.2.4.	WHERE CONDUITS ARE EXPOSED, PAINT TO MATCH SURROUNDING. WHERE CONDUITS ARE REQUIRED TO BE CONCEALED, INSTALL CONDUIT NEATLY AND CLOSE TO BUILDING STRUCTURE TO MINIMIZE NEED FOR FURRING. INSTALLED CONDUIT SHALL BE FREE FROM DENTS, BRUISES, AND OTHER DAMAGE
1.2.4. 1.2.5. 1.2.6.	INSTALLED CONDUIT SHALL BE FREE FROM DENTS, BRUISES, AND OTHER DAMAGE PLUG CONDUIT ENDS TO PREVENT ENTRY OF DIRT AND MOISTURE. SEAL CONDUIT WITH DUCT SEAL COMPOUND OR FIBERGLASS WHERE CONDUIT LEAVES HEATED AREAS AND ENTERS UNHEATED AREA.
	ENTERS UNHEATED AREA. PROVIDE NECESSARY FLASHING AND PITCH POCKETS, MAKING WATERTIGHT JOINTS WHERE CONDUIT PASSES
1.2.7. 1.2.8.	THROUGH ROOM OR WATERPROOFING MEMBRANES. WHERE CONDUIT CROSSES BUILDING EXPANSION JOINTS, INSTALL EXPANSION FITTING APPROVED BY

GALVANIZED STEEL SLEEVES, CONCRETE CURBS OR OTHER APPROVED SUITABLE METHOD OF PROTECTION, CONFIRM EXACT LOCATIONS AND CONDITIONS ON SITE.	 2.4.2.6. DISCONNECT SWITCHES - FUSED AND UNFUSED: 2.4.2.6.1. GENERAL: PROVIDE DISCONNECT SWITCHES FOR 120/240V, AND 120/208V AS REQUIRED. 	2.7.2.1.8.6. 2.7.3. INSTALLATION:
 2.1.2.10. INSTALLATION OF METAL CONDUIT AND TUBING: 2.1.2.10.1. FIELD-BEND CONDUIT WITH BENDERS DESIGNED FOR PURPOSE SO AS NOT TO DISTORT NOR VARY INTERNAL DIAMETER. 	2.4.2.6.2. PRODUCTS: 2.4.2.6.2.1. FUSIBLE AND NON-FUSIBLE, DISCONNECT SWITCH IN CSA ENCLOSURE, EEMAC-1 FOR DRY LOCATIONS AND EEMAC-3 WHERE EXPOSED TO WEATHER, SIZE TO SUIT APPLICATION.	2.7.3.1. INSTALL PANELBOARDS SECURELY, 2.7.3.2. INSTALL SURFACE MOUNTED PANEL COMMON BACKBOARD.
2.1.2.11. INSTALLATION OF RIGID METAL CONDUIT: 2.1.2.11.1. CUT CONDUIT STRAIGHT, PROPERLY REAM, CUT THREADS AND BRUSH THREADS CLEAN.	2.4.2.6.2.2. PROVISION FOR PADLOCKING IN ON-OFF SWITCH POSITION. 2.4.2.6.2.3. MECHANICALLY INTERLOCKED DOOR TO PREVENT OPENING WHEN HANDLE IN "ON" POSITION.	2.7.3.3. CONNECT LOADS TO CIRCUITS. 2.7.3.4. CONNECT LOADS TO FEEDER BREA
2.1.2.11.2. WRAP WITH 3-M CORROSIVE RESISTANT TAPE WHEN CONVERTING FROM UNDERGROUND OR UNDER SLAB PVC CONDUIT TO ABOVE GROUND METAL CONDUIT.	2.4.2.6.2.4.FUSES: SIZES AS REQUIRED.2.4.2.6.2.5.FUSE HOLDERS: SUITABLE WITHOUT ADAPTORS, FOR TYPE AND SIZE OF FUSE SPECIFIED.2.4.2.6.2.5.FUSE HOLDERS: SUITABLE WITHOUT ADAPTORS, FOR TYPE AND SIZE OF FUSE SPECIFIED.	2.7.3.5.BREAKER SIZES AS SPECIFIED IN DI2.7.3.6.ALL TWO OR THREE POLE BREAKER
 2.1.2.12. INSTALLATION OF NON-METALLIC CONDUIT: 2.1.2.12.1. MAKE FIELD BENDS AND SOLVENT CEMENTED JOINTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. 2.1.2.13. INSTALLATION OF CONDUIT IN CONCRETE SLABS: 	2.4.2.6.2.6. QUICK-MAKE, QUICK-BREAK ACTION. 2.4.2.6.2.7. ON-OFF SWITCH POSITION INDICATION ON SWITCH ENCLOSURE COVER. 2.4.2.6.3. INSTALLATION:	3. CONNECTION OF EQUIPMENT: 3.1. GENERAL REQUIREMENT:
2.1.2.13.1. PLACE CONDUIT BETWEEN BOTTOM REINFORCING STEEL AND TOP REINFORCING STEEL. 2.1.2.13.2. SEPARATE CONDUIT BY NOT LESS THAN DIAMETER OR LARGEST CONDUIT TO ENSURE PROPER CONCRETE	2.4.2.6.3.1. MOUNTING: PROVIDE SUPPORTS INDEPENDENT OF CONDUITS. WALL MOUNT WHERE POSSIBLE, OTHERWISE PROVIDE UNISTRUT. WHERE SWITCHES ARE GROUPED MOUNT IN UNIFORM	3.1.1. UNLESS OTHERWISE SPECIFIED, PROVID EQUIPMENT SUPPLIED UNDER ALL CONT
BOND. 2.1.2.13.3. ENSURE MINIMUM 20mm CONCRETE COVER.	ARRANGEMENT. 2.4.2.6.3.2. WIRING: CONNECT LINE AND LOAD CABLES TO ALL SWITCHES.	WITH DRAWINGS AND SHOP DRAWINGS SUPPLIED UNDER OTHER CONTRACTS F 3.2. INSTALLATION:
2.2. WIRE AND CABLE: 2.2.1. GENERAL REQUIREMENT:	2.4.2.6.3.3. FUSE RATING: INSTALL SO THAT RATING IS VISIBLE. 2.4.2.7. CONTACTORS: 2.4.2.7.1. TO CSA C22.2 NO. 14	3.2.1. ELECTRICAL CONTRACTOR SHALL SUPP SWITCHES, MOTOR PROTECTION SWITC
2.2.1.1. PROVIDE A COMPLETE SYSTEM OF WIRING, MAKING ALL CONNECTIONS NECESSARY FOR INSTALLATION SHOWN ON DRAWINGS.	2.4.2.7.2. VOLTAGE: 250/600V AS REQUIRED.2.4.2.7.3. ELECTRICALLY HELD CONTROLLED BY PILOT DEVICES AS INDICATED AND RATED FOR TYPE OF LOAD	EQUIPMENT AND COMPLETE ALL LINE AN BY OTHERS.
 2.2.1.2. ALL WIRING TO BE COPPER, EXCEPT FOR MAIN FEEDERS 100 AMPS OR LARGER WHERE ALUMINUM CONDUCTORS OF THE SAME AMPACITY MAY BE UTILIZED. 2.2.2. BUILDING WIRES: 	CONTROLLED. 2.4.2.7.4. COMPLETE WITH 2 NORMALLY OPEN AND 2 NORMALLY CLOSED AUXILIARY CONTACTS. 2.4.2.7.5. MOUNT IN CSA ENCLOSURE 1.	3.2.2. ALL CONTROL DEVICES, THERMOSTATS INSTALLED BY ELECTRICAL CONTRACTO 3.2.3. ALL LOW VOLTAGE (24V) WIRING AND TE
 2.2.2.1. CONDUCTORS: STRANDED FOR NO. 10AWG. MINIMUM SIZE: 12 AWG. 2.2.2.2. COPPER AND ALUMINUM CONDUCTOR MATERIAL (ACM) ALLOY CONDUCTORS: SIZE AS REQUIRED, TO CSA C22.2 	2.4.2.7.6. COMPLETE WITH RED INDICATING LIGHT AND HAND-OFF-AUTO SELECTOR SWITCH.2.4.2.7.7. CONTROL TRANSFORMER: VOLTAGE AS REQUIRED, SIZED TO HANDLE OPERATING COIL AND ASSOCIATED	3.2.4. ALL LINE VOLTAGE (120V) WIRING AND T 3.2.5. ALL CONTROL SYSTEM OUTLETS AND CONTROL SYSTEM OUTLES AND CONTROL SYSTEM OUTLES AND CONTROL
NO. 75, COPPER CONDUCTOR, 600V RW90 X-LINK INSULATION. USE IN ALL LOCATIONS, EXCEPT FOR UNDERGROUND WIRE WHICH SHALL BE RW90 X-LINK -40°C OR TWU75 -40°C. 2.2.3. ARMOURED CABLES:	AUXILIARY CONTACTS. 2.5. GROUNDING AND BONDING:	INSTALLED BY ELECTRICAL CONTRACTO PRIOR TO ROUGH-INS. 3.2.6. COORDINATE ALL WORK WITH MECHANI
2.2.3.1.CONDUCTORS: COPPER.2.2.3.2.INSULATION: RW90 CROSS LINK.	2.5.1. GENERAL REQUIREMENT: 2.5.1.1. SUPPLY AND INSTALL A COMPLETE GROUNDING SYSTEM. ALL COMPONENTS OF ELECTRICAL SYSTEM SHALL TO	PROPER OPERATION AND SEQUENCING
 2.2.3.3. ARMOUR: INTERLOCKING TYPE FABRICATED STRIP. 2.2.3.4. RATING: 600V. 2.2.4. TECK CABLE: 	BE SECURELY AND ADEQUATELY GROUNDED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL RELATED SECTIONS OF CANADIAN ELECTRICAL CODE, PROVINCIAL BUILDING CODE AND LOCAL ELECTRICAL INSPECTION BRANCH.	 4. LIGHTING: 4.1. GENERAL REQUIREMENTS: 4.1.1. SUPPLY AND INSTALL ALL LUMINARIES N
2.2.4.1. CONDUCTOR: 2.2.4.1.1. GROUNDING CONDUCTOR:COPPER.	2.5.1.2. GROUNDING SYSTEM SHALL CONSISTS OF CABLES, GROUND RODS, SUPPORTS, AND ALL NECESSARY MATERIALS AND INTER-CONNECTIONS REQUIRED TO PROVIDE A COMPLETE GROUND SYSTEM.	LAMPS, ALL NECESSARY MOUNTING HAP AND ALL OTHER MISCELLANEOUS EQUIP
2.2.4.1.2. CIRCUIT CONDUCTORS: COPPER AND ACM ALLOY, SIZE AS INDICATED. 2.2.4.2. INSULATION: RW90 CROSS LINKED POLYETHYLENE (XLPE).	2.5.2. GROUNDING EQUIPMENT: TO CSA C22.2 NO. 41 AND AS FOLLOWS: 2.5.2.1. GROUND RODS: 20mm DIA. X 3m LONG, COPPER CLAD STEEL	INSTALLATION. 4.2. INSTALLATION:
2.2.4.3. RATINGS: 600V 2.2.5. FEEDER CABLES: 2.2.5.1. CONDUCTOR: COPPER.	 2.5.2.2. CONDUCTORS: COPPER, STRANDED, BARE OR INSULATED AS INDICATED. 2.5.2.3. NON-CORROSSIVE ACCESSORIES NECESSARY FOR GROUNDING SYSTEM, TYPE, SIZE, MATERIALS AS INDICATED INCLUDING BUT NOT NECESSARILY LIMITED TO: 	 4.2.1. INSTALL ALL LIGHT FIXTURES IN ACCORI AS SHOWN ON DRAWINGS. 4.2.2. CONTRACTOR SHALL CONFIRM COMPAT
2.2.5.2.INSULATION: RW90 CROSS LINKED POLYETHYLENE (XLPE) AND PVC JACKET.2.2.5.3.SIZE: AS REQUIRED	2.5.2.3.1.GROUNDING AND BONDING BUSHINGS.2.5.2.3.2.PROTECTIVE TYPE CLAMPS.	CEILING TYPES. REVIEW ROOM FINISH S DISCREPANCIES AND DEFER ORDERING
2.2.6. CONTROL CABLES: 2.2.6.1. CONDUCTORS: COPPER. 2.2.6.2. INSULATION: 300V INSULATION, RATED 60°C.	 2.5.2.3.3. THERMIT WELD WHERE UNDERGROUND OR EXPOSED TO MOISTURE 2.5.2.3.4. COMPRESSION TYPE BOLT-ON IN OTHER LOCATIONS. 2.5.2.3.5. BONDING JUMPERS, STRAPS. 	4.2.3. WHERE REQUIRED, COORDINATE WITH LUMINARIES TO MAINTAIN CEILING ASSE 4.2.4. UNLESS NOTED OTHERWISE, LUMINARIE
2.2.6.3. CONFIGURATION: INDIVIDUAL CONDUCTORS TWISTED TOGETHER, SHIELDED, COVERED WITH FT-4 RATED PVC JACKET.	2.5.2.3.6. PRESSURE WIRE CONNECTORS. 2.5.3. INSTALLATION:	AREAS. 4.2.5. GROUND LIGHT FIXTURES TO METAL RA
 2.2.7. ALUMINUM CONDUCTOR MATERIAL (ACM): 2.2.7.1. DISTRIBUTION FEEDER INSTALLATION: 2.2.7.1. ACM TO BE COMPACT STRANGED CONDUCTORS OF NUMBER (AA 8020) AS MANUFACTURED BY ALCAN CARLE OR 	 2.5.3.1. INSTALL COMPLETE PERMANENT, CONTINUOUS GROUNDING SYSTEM INCLUDING ELECTRODES, CONDUCTORS, CONNECTORS AND ACCESSORIES. WHERE EMT CONDUIT IS USED, RUN INSULATED COPPER WIRE IN CONDUIT. 2.5.3.2. ALL FRAMES AND METALLIC ENCLOSURES OF ALL ELECTRICAL EQUIPMENT AND ELECTRICALLY OPERATED 	CONDUCTOR. 4.2.6. LOCATION OF OCCUPANCY SENSORS AF PROVIDE COMPLETE COVERAGE.
 2.2.7.1.1. ACM TO BE COMPACT STRANDED CONDUCTORS OF NUAL® (AA-8030) AS MANUFACTURED BY ALCAN CABLE OR OF A RECOGNIZED 8000 SERIES ALUMINUM ALLOY CONDUCTOR MATERIAL BY THE ALUMINUM ASSOCIATION. 2.2.7.1.2. MANUFACTURER SHALL VERIFY COMPLIANCE WITH THE ELONGATION REQUIREMENT PER TABLE 10.1 OF UL 	2.5.3.2. ALL FRAMES AND METALLIC ENCLOSORES OF ALL ELECTRICAL EQUIPMENT AND ELECTRICALLY OPERATED EQUIPMENT SHALL BE GROUNDED THROUGH CONDUIT SYSTEM OR VIA GROUND WIRE. 2.5.3.3. GROUND ALL TRANSFORMERS, MOTOR CONTROL CENTRES, PANELBOARDS AND CPD'S FED FROM MAIN	4.2.7. PROVIDE COMPLETE COVERAGE. 4.2.7. PROVIDE ADEQUATE SUPPORT FOR FIX IN HORIZONTAL OR VERTICAL POSITION
STANDARD 1581 FOR STRANDED AA-8000 SERIES ALUMINUM ALLOY CONDUCTORS ON WIRES TAKEN FROM THE CONDUCTOR AFTER STRANDING.	DISTRIBUTION CENTRE BY GROUNDING CONDUCTORS SIZED IN ACCORDANCE WITH CANADIAN ELECTRICAL CODE. TERMINATE GROUND WIRE AT EACH END WITH APPROPRIATE GROUNDING LUG. USE MECHANICAL	4.2.8. HOUSING RIGIDLY AND ADJUST TO NEAT UNLESS SHOWN OTHERWISE, ADJUST LI
 2.2.7.2. INSULATION: 2.2.7.2.1. FOR USE IN RACEWAYS: SIZES #6 AWG TO 1000 KCMIL TYPE RW90, TEMPERATURE RATING 90° C. 2.2.7.3. CONNECTIONS FOR CONDUCTORS: 	CONNECTORS FOR GROUNDING CONNECTIONS TO EQUIPMENT PROVIDED WITH LUGS. 2.5.3.4. ALL LIGHTING PANELS, LOCAL DISTRIBUTION PANELS, ETC. SHALL BE GROUNDED WITH GREEN GROUND WIRE RUN BACK TO PANEL FROM WHICH IT IS FED. SIZE GROUND CONDUCTOR ACCORDING TO CANADIAN	4.2.9. BODIES IN THE SAME HORIZONTAL PLAN 4.2.9. T-BAR RECESSED LIGHT FIXTURES SHAI ADDITIONAL SUPPORT NECESSARY FOR
2.2.7.3.1. USING MECHANICAL SCREW TYPE CONNECTORS: 2.2.7.3.1.1. CONNECTORS SHALL BE DUAL RATED (AL7CU OR AL9CU) AND LISTED BY CSA FOR USE WITH ALUMINUM	ELECTRICAL CODE. 2.5.3.5. INSTALL BONDING WIRE FOR FLEXIBLE CONDUIT, CONNECTED AT BOTH ENDS TO GROUNDING BUSHING,	4.2.10. PRIOR TO INTERIM ACCEPTANCE OF THE PARTS.
AND COPPER CONDUCTORS AND SIZED TO ACCEPT ALUMINUM CONDUCTORS OF THE AMPACITY SPECIFIED. 2.2.7.3.1.2. USING A SUITABLE STRIPPING TOOL, TO AVOID DAMAGE TO THE CONDUCTOR, REMOVE INSULATION	SOLDERLESS LUG, CLAMP OR CUP WASHER AND SCREW. NEATLY CLEAT BONDING WIRE TO EXTERIOR OF FLEXIBLE CONDUIT.	5. COMMUNICATION SYSTEM
2.2.7.3.1.2. USING A SUITABLE STRIPPING TOOL, TO AVOID DAMAGE TO THE CONDUCTOR, REMOVE INSULATION FROM THE REQUIRED LENGTH OF THE CONDUCTOR. 2.2.7.3.1.3. CLEAN THE CONDUCTOR SURFACE USING A WIRE BRUSH AND APPLY A CSA LISTED JOINT COMPOUND.	 SOLDERED JOINTS NOT PERMITTED. PROTECT EXPOSED GROUND CONDUCTORS FROM MECHANICAL INJURY. INSTALL SEPARATE GROUND CONDUCTOR TO ALL OUTDOOR LIGHTING STANDARDS. 	 5.1. SUPPLY AND INSTALL A COMPLETE WORKING / CATV UTILITY SERVICE. 5.2. SUPPLY AND INSTALL RG-6 RATED COAXIAL
2.2.7.3.1.4.TIGHTEN THE CONNECTION PER THE CONNECTOR MANUFACTURER'S RECOMMENDATION.2.2.7.3.1.5.WIPE OFF ANY EXCESS JOINT COMPOUND.	2.5.3.9. MAKE GROUND CONNECTIONS IN RADIAL CONFIGURATIONS ONLY, WITH CONNECTIONS TERMINATING AT SINGLE GROUND POINT. AVOID LOOP CONNECTIONS.	TERMINATE EACH END WITH F-TYPE CONNE 5.3. SUPPLY AND INSTALL A 4 PAIR CAT6 CABLE I
2.2.7.3.2. USING MECHANICAL COMPRESSION TYPE CONNECTORS: 2.2.7.3.2.1. CONNECTORS SHALL BE DUAL RATED (AL7CU OR AL9CU) AND LISTED BY CSA FOR USE WITH ALUMINUM AND COPPER CONDUCTORS AND SIZED TO ACCEPT ALUMINUM CONDUCTORS OF THE AMPACITY	 2.5.3.10. CONNECT STRUCTURAL STEEL, METAL SIDING AND SITE FLAG POLES TO GROUND. 2.5.3.11. PROVIDE SEPARATE INSULATED GROUND CONDUCTOR IN CONDUIT RUNS INSTALLED UNDERGROUND AND IN CONCRETE EXPOSED TO MOISTURE PENETRATIONS. 	TELECOMMUNICATION BACKBOARD. TERMIN COVER PLATES TO SUIT. 5.4. SUPPLY AND INSTALL A 4 PAIR CAT6 CABLE F
2.2.7.3.2.2. SPECIFIED. THE LUGS SHALL BE MARKED WITH WIRE SIZE, DIE INDEX, NUMBER AND LOCATION OF CRIMPS AND	 2.5.3.12. GROUND ALL MOTORS BY MEANS OF A PROPERLY SIZED GROUND WIRE CONTAINED IN FEEDER CONDUIT. 2.5.3.13. BOND EXPANSION JOINTS AND TELESCOPING SECTIONS OF RACEWAYS USING JUMPER CABLES AS PER 	TELECOMMUNICATION BACKBOARD. TERMIN 5.5. PROVIDE COMBINATION RJ-11/RJ-45 ON EAC
SHALL BE SUITABLY COLOUR CODED. LUG BARREL SHALL BE FACTORY PRE-FILLED WITH A JOINT COMPOUND LISTED BY CSA. 2.2.7.3.2.3. USING A SUITABLE STRIPPING TOOL, TO AVOID DAMAGE TO THE CONDUCTOR, REMOVE INSULATION	CANADIAN ELECTRICAL CODE. 2.5.3.14. ENSURE ALL BOLTED CONNECTIONS ARE ACCESSIBLE. 2.5.3.15. MAKE GROUND CONNECTIONS TO CONTINUOUSLY CONDUCTIVE UNDERGROUND WATER PIPE ON STREET SIDE	5.6. ALL CABLES WITHIN RETURN AIR PLENUM SF FREE AIR: 5.6.1. IN BUILDINGS OF COMBUSTIBLE CONSTF
2.2.7.3.2.4. CLEAN CONDUCTOR SURFACE USING A WIRE BRUSH.	2.5.3.15. MARE GROUND CONNECTIONS TO CONTINUOUSET CONDUCTIVE UNDERGROUND WATER FIFE ON STREET SIDE OF WATER METER. 2.5.3.16. BOND NON-CURRENT CARRYING METAL PARTS TOGETHER WITH PROPERLY SIZED EQUIPOTENTIAL COPPER	5.6.2. IN BUILDINGS OF NON-COMBUSTIBLE CO 5.7. PROVIDE TELEPHONE BIX BLOCK(S) WHERE
2.2.7.3.2.5. CRIMP THE CONNECTION PER THE CONNECTOR MANUFACTURER'S RECOMMENDATION. 2.2.7.3.2.6. WIPE OFF ANY EXCESS JOINT COMPOUND.	CONDUCTOR. RUN CONDUCTOR FROM SEPARATE LUG OR SERVICE NEUTRAL TO, BUT NOT NECESSARILY LIMITED TO THE FOLLOWING INDOOR SYSTEM AND EQUIPMENT:	TELEPHONE CABLE TO BIX BLOCK. ALLOW 25 5.8. ENSURE ALL COMMUNICATION EQUIPMENT I
2.2.7.3.3.TERMINATION OF ALUMINUM CONDUCTOR TO ALUMINUM BUS:2.2.7.3.3.1.PREPARE A MECHANICAL CONNECTION CONFORMING TO 2.2.7.3.1 OR 2.2.7.3.2.2.2.7.3.3.2.HARDWARE:	2.5.3.16.1. HOT WATER HEATING SYSTEM. 2.5.3.16.2. MAIN BUILDING DRAIN. 2.5.3.16.3. OIL DRAIN.	THE ROOM(S) NOTED. 5.9. PROVIDE CAT6 RATED DATA PATCH PANEL (PATCH PANEL. ALLOW 25% EXTRA CAPACITY
2.2.7.3.3.2.1. BOLTS: ANODIZED ALUMINUM ALLOY 2024-T4 AND CONFORMING TO ANSI B18.2.1 AND TO ASTM B211 OR B221 CHEMICAL AND MECHANICAL PROPERTY LIMITS.	2.5.3.16.4. PROVIDE CONNECTIONS TO PIPES BOND ON BUILDING SIDE OF MAIN VALVES AND TANKS. CONNECT JUMPERS ACROSS BOILERS TO SUPPLY AND RETURN HOT WATER HEATING PIPES.	5.10. TEST ALL VOICE AND DATA TERMINATIONS A TELECOMMUNICATIONS CABLING", AND PRO
 2.2.7.3.3.2.2. NUTS: ALUMINUM ALLOYS 6061-T6 OR 6262-T9 AND CONFORMING TO ANSI B18.2.2. 2.2.7.3.3.2.3. WASHERS: FLAT ALUMINUM ALLOY 2024-T4, TYPE A PLAIN, STANDARD WIDE SERIES CONFORMING TO ANSI B27.2. 	 2.5.4. EQUIPMENT GROUNDING: 2.5.4.1. INSTALL GROUNDING CONNECTIONS TO TYPICAL EQUIPMENT INCLUDED IN, BUT NOT NECESSARY LIMITED TO FOLLOWING LIST: SERVICE EQUIPMENT, TRANSFORMERS, FRAMES OF MOTORS, MOTOR CONTROL CENTRES, 	 6. STARTING AND TESTING: 6.1. GENERAL REQUIREMENTS:
2.2.7.3.3.2.4. LUBRICATE AND TIGHTEN THE HARDWARE AS PER THE MANUFACTURER'S RECOMMENDATIONS. 2.2.7.3.4. TERMINATION OF ALUMINUM CONDUCTOR TO COPPER BUS:	STARTERS, CONTROL PANELS, BUILDING STEEL WORK, ELEVATORS, DISTRIBUTION PANELS, OUTDOOR LIGHTING.	6.1.1.PRIOR TO TESTING ENSURE ALL ELECTR6.1.2.AFTER TESTING, PROTECT EQUIPMENT
2.2.7.3.4.1. PREPARE A MECHANICAL CONNECTION CONFORMING TO 2.2.7.3.1 OR 2.2.7.3.2. 2.2.7.3.4.2. HARDWARE: 2.2.7.3.4.2.1. BOLTS: PLATED OR GALVANIZED MEDIUM CARBON STEEL; HEAT TREATED, QUENCHED AND	2.5.5. ELECTRODES: 2.5.5.1. PROVIDE SERVICE GROUND GRID CONSISTING OF TWO GROUND ROADS SPACED AT LEAST 3m APART AND CONNECTED WITH APPROPRIATELY SIZED BARE COPPER CONDUCTOR AS REQUIRED BY CODE.	6.1.3. NOTIFY ENGINEER WHEN STARTING AND 6.1.4. DO NOT CONCEAL OR COVER EQUIPMEN 6.1.5. ASSUME ALL LIABILITIES ASSOCIATED W
TEMPERED EQUAL TO ASTM A-325 OR SAE GRADE 5.2.2.7.3.4.2.2.NUTS: HEAVY SEMI-FINISHED HEXAGON, CONFORMING TO ANSI B18.2.2, THREADS TO BE UNIFIED	2.5.5.2. MAKE PROVISIONS FOR INSTALLING ELECTRODES THAT WILL GIVE ACCEPTABLE RESISTANCE TO GROUND VALUE WHERE ROCK OR SAND TERRAIN PREVAILS.	6.1.6. ASSUME ALL COSTS ASSOCIATED WITH TESTING EQUIPMENT AND WITNESSING
COARSE SERIES (UNC), CLASS 2B. 2.2.7.3.4.2.3. WASHERS: SHOULD BE OF STEEL; TYPE A PLAIN STANDARD WIDE SERIES CONFORMING TO ANSI B27.2.	2.5.6. GROUNDING BUS 2.5.6.1. PROVIDE COPPER GROUNDING BUS MOUNTED ON INSULATED SUPPORTS ON WALL IN ELECTRICAL ROOM. 2.5.6.2. GROUND ITEMS OF ELECTRICAL EQUIPMENT IN ELECTRICAL ROOM TO GROUND BUS WITH INDIVIDUAL BARE	6.1.7. SUPPLY AND INSTALL ALL EQUIPMENTS ANY THIRD PARTY TRADE FOR CABLING
2.2.7.3.4.2.4. BELLEVILLE CONICAL SPRING WASHERS: SHALL BE OF HARDENED STEEL, CADMIUM PLATED OR SILICONE BRONZE.	GROUND STRANDED COPPER CONNECTIONS AS REQUIRED BY CODE. 2.5.7. COMMUNICATION SYSTEM:	
2.2.7.3.4.2.5. LUBRICATE AND TIGHTEN THE HARDWARE AS PER THE MANUFACTURER'S RECOMMENDATIONS. 2.2.7.3.4.3. TERMINATION OF ALUMINUM CONDUCTOR TO EQUIPMENT NOT EQUIPPED FOR TERMINATION OF ALUMINUM CONDUCTOR:	 2.5.7.1. INSTALL GROUNDING CONNECTIONS FOR TEL./CATV, SOUND, FIRE ALARM, INTERCONNECTION SYSTEM AS FOLLOWS: 2.5.7.1.1. TEL/CATV: PROVIDE GROUNDING SYSTEM IN ACCORDANCE WITH TEL./CATV COMPANY'S REQUIREMENT. 	
2.2.7.3.4.3.1. PREPARE COMPRESSION CONNECTION USING AN ADAPTER LISTED BY CSA FOR THE PURPOSE OR BY PIGTAILING A SHORT LENGTH OF SUITABLE SIZE OF COPPER CONDUCTOR TO THE ALUMINUM	2.5.7.1.1. SOUND, FIRE ALARM, INTERCOMMUNICATION SYSTEMS AS REQUIRED BY CODE. 2.5.8. FIELD QUALITY CONTROL:	
2.2.7.3.4.3.2.CONDUCTOR WITH A COMPRESSION CONNECTOR LISTED BY CSA.2.2.7.3.4.3.3.PROVIDE AN INSULATING COVER OVER ADAPTER BODY OR THE COMPRESSION CONNECTOR.2.2.7.3.4.3.4.TERMINATE THE ADAPTER OR THE PIGTAIL ON TO THE EQUIPMENT PER MANUFACTURER'S	2.5.8.1. PERFORM GROUND CONTINUITY AND RESISTANCE TESTS USING METHOD APPROPRIATE TO SITE CONDITIONS AND TO APPROVAL OF CONSULTANT AND LOCAL AUTHORITY HAVING JURISDICTION.	
2.2.7.3.4.3.4. TERMINATE THE ADAPTER OR THE PIGTAIL ON TO THE EQUIPMENT PER MANUFACTURER'S RECOMMENDATION. 2.2.8. INSTALLATIONS:	2.6. HANGERS AND SUPPORTS 2.6.1. COORDINATION:	
 2.2.8.1. ALL SPLICES SHALL BE IN JUNCTION BOXES OR OUTLET BOXES. 2.2.8.2. GROUP CABLES WHERE POSSIBLE. ENSURE CALL CABLES RUNS IN CEILING SPACES ARE ADEQUATELY 	2.6.2.COORDINATE INSTALLATION OF INSERTS WITH:2.6.2.1.CONCRETE WORK SPECIFIED IN DIVISION 03.	
SUPPORTED. 2.2.8.3. CONDUCTOR LENGTHS FOR PARALLEL CIRCUITS SHALL BE IDENTICAL.	 2.6.2.2. SUSPENDED CEILING WORK SPECIFIED IN DIVISION 09. 2.6.2.3. MECHANICAL WORK SPECIFIED IN DIVISIONS 20 TO 23. 2.6.3. SUPPORTING DEVICES: 	
 2.3. BOX AND FITTINGS: 2.3.1. PROVIDE BOXES AND FITTINGS SUITABLE FOR INTENDED USE AND AREA INSTALLED AND AS FOLLOWS: 	2.6.1.1. PROVIDE METAL BRACKETS, FRAMES, HINGES, CLAMPS AND RELATED TYPES OF SUPPORTING DEVICES AND SUPPORT SYSTEMS ADEQUATE FOR WEIGHT OF EQUIPMENT AND RACEWAYS, INCLUDING WIRING WHICH THEY	
 2.3.1.1. OUTLET BOXES: TO CSA C22.2 NO. 18. SHEET STEEL, GALVANIZED FOR CONCEALED BOXES AND CAST METAL FOR SURFACE AND WEATHERPROOF BOXES. 2.3.1.2. PULL AND JUNCTION BOXES:TO CSA C22.2 NO. 40. SHEET STEEL WITH SCREW-ON COVERS AND BARRIERS AS 	CARRY. 2.6.1.2. STRAPS: STEEL 2.6.1.3. CHANNELS.	
REQUIRED. 2.3.1.3. BUSHINGS, KNOCKOUT CLOSURES, AND LOCKNUTS: TO CSA C22.2 NO. 18	2.6.2. INSTALLATION: 2.6.2.1. INSTALL SUPPORTING DEVICES TO MAINTAIN HEADROOM, NEAT MECHANICAL APPEARANCE AND TO SUPPORT	
 2.3.1.4. INSTALL BOXES FLUSH WHERE PRACTICABLE AND FOR VERTICAL MOUNTING OF DEVICES. INSTALL TO NEAREST COURSE LINE IN MASONRY WALLS. 2.3.1.5. PROVIDE NON-COMBUSTIBLE OUTLET BOXES IN FIRE-RATED WALL. 	EQUIPMENT LOADS REQUIRED. 2.6.2.2. EXCEPT WHERE OTHERWISE INDICATED, SUPPORT EQUIPMENT, CONDUIT AND CABLES USING CLIPS, SPRING LOADED BOLTS, OR CABLE CLAMPS DESIGNED AS ACCESSORIES TO BASE CHANNEL MEMBERS.	
 2.3.1.5. PROVIDE NON-COMBOSTIBLE OUTLET BOXES IN FIRE-RATED WALL. 2.3.1.6. OUTLET BOXES INSTALLED ON OPPOSITE SIDES OF FIRE-RATED WALLS SHALL BE SEPARATED BY 600mm OR A FIRE BLOCK. 	2.6.2.3. SUPPORT EXPOSED CONDUIT AND CONDUIT INSTALLED IN SPACE ABOVE SUSPENDED CEILINGS AND IN CRAWL SPACES USING HANGERS, CLAMPS OR CLIPS. SUPPORT CONDUIT ON EACH SIDE OF BENDS AND ON SPACING IN	
2.4. WIRING DEVICES: 2.4.1. GENERAL REQUIREMENTS:	ACCORDANCE WITH CANADIAN ELECTRICAL CODE. 2.6.2.4. WHERE THREE OR MORE CONDUITS RUN IN PARALLEL, INSTALL CONDUIT ON CONDUIT RACKS. SIZE CONDUIT	
 2.4.1. GENERAL REQUIREMENTS: 2.4.2. SPECIFICATION GRADE AS FOLLOWS: 2.4.2.1. SWITCHES: TO CSA C22.2 NO. 111 AND AS FOLLOWS: 	RACKS TO PROVIDE 25% SPARE CAPACITY. 2.6.2.5. SUPPORT RISER CONDUIT AT EACH FLOOR LEVEL WITH CLAMP HANGERS 2.6.2.6. DO NOT FASTEN SUPPORTS TO PIPING, DUCTWORK, MECHANICAL EQUIPMENT OR CONDUIT.	
2.4.2.1.1. RATING :EXCEPT WHERE OTHERWISE INDICATED OR SPECIFIED, 15A, 125V AS REQUIRED. 2.4.2.1.2. TYPE: SINGLE, THREE-WAY OR FOUR-WAY AS REQUIRED.	2.6.2.7. DO NOT USE SHOT DRIVEN PINS.2.6.2.8. INSTALL SURFACE MOUNTED CABINETS AND PANELBOARDS WITH MINIMUM OF FOUR ANCHORS.	
2.4.2.1.3. COLOR: WHITE 2.4.2.1.4. STYLE: DECORA 2.4.2.1.5. OPERATION:	2.6.2.9. BRIDGE STUDS TOP AND BOTTOM WITH CHANNELS TO SUPPORT FLUSH MOUNTED CABINETS AND PANEL BOARDS IN STUD WALLS.	
2.4.2.1.5.1.MANUALLY OPERATED GENERAL PURPOSE SWITCHES:2.4.2.1.5.1.1.ROCKER TYPE, QUIET ACTION.	2.7. DISTRIBUTION PANELBOARDS: 2.7.1. DISTRIBUTION PANELBOARDS TO CSA C22.2 NO. 29 AND AS FOLLOWS:	
2.4.2.1.5.2.DIMMERS:2.4.2.1.5.2.1.SOLID STATE SLIDER TYPE SUITABLE FOR DIMMING LED LIGHTS.2.4.2.1.5.3.SENSORS (OCCUPANCY AND VACANCY)	 2.7.1.1. BUS CHARACTERISTICS: 2.7.1.1.1. CONSTRUCTION: RECTANGULAR SECTION COPPER PLATED JOINTS 2.7.1.1.2. BRACING: - AMPERES SYMMETRICAL 	
2.4.2.1.5.3.1. PASSIVE INFRARED DETECTION, INTERNAL SELF CONTAINED RELAY FOR DIRECT LINE DETECTION, PUSHBUTTON FIELD PROGRAMMABLE DETECTION AND TIMING SETTINGS.	2.7.1.1.3. NEUTRAL: FULL CAPACITY, SOLID DESIGN 2.7.1.1.4. GROUND BUS: COPPER	
2.4.2.2. RECEPTACLES: TO CSA C22.2 NO. 42, DUPLEX,125V, U-GROUND, DECORA STYLE, COLOUR WHITE 2.4.2.2.1. GENERAL PURPOSE RECEPTACLES: 2.4.2.2.1.1. RATING: 15/20A, 125V EXCEPT WHERE OTHERWISE INDICATED.	 2.7.1.2. ENCLOSURE: 2.7.1.2.1. FLUSH MOUNTED: PREFINISHED, GALVANIZED SHEET STEEL. 2.7.1.2.2. SURFACE MOUNTED: PREFINISHED, PAINTED SHEET STEEL C/W DRIP HOODS. 	
2.4.2.2.1.2. CONFIGURATION, 5-15R/5-20R , 2 POLE, 3 WIRE GROUNDING. 2.4.2.2.1.3. FEATURES:	2.7.1.2.3. WEATHERPROOF ENCLOSURE FOR EXTERIOR MOUNTED PANELS.2.7.1.3. TRIM:	
2.4.2.2.1.3.1.GROUND TERMINAL AND POLES CONNECTED TO CONTINUOUS MOUNTING YOKE.2.4.2.2.1.3.2.WIRING TERMINALS: 8 BACK-WIRED ENTRANCES, 4 SIDE SCREWS2.4.2.2.1.3.3.SPLIT FEED OPERATION	 2.7.1.3.1. SCREW-ON CONCEALED HINGES AND MOUNTING SCREWS. HINGED LOCKING DOOR WITH 2 KEYS PER PANEL. 2.7.2. OVER CURRENT PROTECTION DEVICES: 2.7.2.0. MOLDED CASE CIRCUIT BREAKERS: TO CAN/CSA-C22.2 NO. 5.1 	
2.4.2.2.1.3.4.NYLON FACE2.4.2.2.1.3.5.DOUBLE WIPE HEAVY PHOSPHOR BRONZE CONTACTS.	2.7.2.1.BRANCH MOLDED CASE CIRCUIT BREAKERS:2.7.2.1.1.TRIP TYPE: THERMAL/MAGNETIC	
2.4.2.2.1.3.6. ADD TAMPER RESISTANT TO RECEPTACLES. 2.4.2.2.2. GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLES: 2.4.2.2.2.1. SAME AS GENERAL PURPOSE RECEPTACLES, EXCEPT FOLLOWING FEATURES:	 2.7.2.1.2. VOLTAGE: AS INDICATED IN SCHEDULES 2.7.2.1.3. POLES: AS INDICATED IN SCHEDULES. 2.7.2.1.4. POLES: AS INDICATED IN SCHEDULES 	
2.4.2.2.2.1.1.SOLID STATE GROUND FAULT SENSING AND SIGNALING2.4.2.2.2.1.2.5 MILLIAMPERES GROUND FAULT TRIP LEVEL.	2.7.2.1.5. INTERRUPTING CAPACITY: AS REQUIRED 2.7.2.1.6. MOUNTING: BOLT-IN ANY POSITION	
2.4.2.2.2.1.3. FEED-THROUGH TYPE. 2.4.2.3. COVER PLATES:	2.7.2.1.7. NORMAL OPERATION: IN 40°C AMBIENT 2.7.2.1.8. FEATURES:	
 2.4.2.4. GENERAL REQUIREMENTS: PROVIDE COVERPLATES FOR ALL WIRING DEVICES. 2.4.2.5. TYPES: 2.4.2.5.1. GALVANIZED STEEL IN UTILITY/SERVICE ROOMS. 	2.7.2.1.8.1.THERMAL AND INSTANTANEOUS MAGNETIC TRIP2.7.2.1.8.2.TRIP FREE, TOGGLE TYPE OPERATION2.7.2.1.8.3.QUICK-MAKE, QUICK-BREAK ACTION	
 2.4.2.5.2. NYLON TYPE, WHITE FINISH, IN GENERAL FINISHED AREAS. 2.4.2.5.3. WEATHER-RESISTANT, DURABLE, "IN-USE" RATED, COMPLETE WITH GASKETS IN ALL WET AREAS. 	2.7.2.1.8.4.POSITIVE HANDLE TRIP INDICATION2.7.2.1.8.5.TRIP RATING VISIBLE WITH PANEL TRIM INSTALLED.	

NELBOARDS SECURELY, PLUMB AND SQUARE TO ADJOINING SURFACES. RFACE MOUNTED PANELBOARDS ON PLYWOOD BACKBOARD. WHERE PRACTICAL, GROUP ON

OADS TO FEEDER BREAKERS AS SPECIFIED IN DISTRIBUTION PANELBOARD SCHEDULE. IZES AS SPECIFIED IN DISTRIBUTION PANELBOARD SCHEDULE. THREE POLE BREAKERS SHALL HAVE COMMON TRIP TYPE WITH SINGLE HANDLE.

WISE SPECIFIED, PROVIDE ALL WIRING AND CONNECTIONS TO ALL ELECTRICALLY OPERATED PLIED UNDER ALL CONTRACTS RELATED TO THIS PROJECT. EXAMINE AND BECOME FULLY FAMILIAR S AND SHOP DRAWINGS OF ALL TRADES FOR EXTENT OF ELECTRICALLY OPERATED EQUIPMENT R OTHER CONTRACTS RELATED TO THIS PROJECT.

NTRACTOR SHALL SUPPLY AND INSTALL ALL CONDUITS, CONDUCTORS, MOTOR DISCONNECT TOR PROTECTION SWITCHES, CONTACTORS, RELAYS, COMBINATION STARTERS AND ALL RELATED COMPLETE ALL LINE AND LOW VOLTAGE WIRING OF ALL EQUIPMENT SUPPLIED BY MECHANICAL OR

EVICES, THERMOSTATS, SENSORS, ETC. SHALL BE SUPPLIED BY MECHANICAL CONTRACTOR AND LECTRICAL CONTRACTOR UNLESS INDICATED OTHERWISE. GE (24V) WIRING AND TERMINATIONS TO BE COMPLETED BY ELECTRICAL CONTRACTOR AGE (120V) WIRING AND TERMINATIONS TO BE COMPLETED BY ELECTRICAL CONTRACTOR. SYSTEM OUTLETS AND CONDUIT RACEWAY (LOW AND LINE VOLTAGE) TO BE SUPPLIED AND

ECTRICAL CONTRACTOR. CONFIRM EXACT LOCATIONS, CONDITIONS AND REQUIREMENTS ON SITE I-INS. L WORK WITH MECHANICAL CONTRACTOR AND EQUIPMENT MANUFACTURER, AND CONFIRM ATION AND SEQUENCING OF MECHANICAL SYSTEMS AT START-UP.

TALL ALL LUMINARIES NOTED ON DRAWINGS OR PRIOR APPROVED EQUALS COMPLETE WITH ESSARY MOUNTING HARDWARE, RELAYS, CONTACTORS, REQUIRED CONTROL SYSTEM, SWITCHES R MISCELLANEOUS EQUIPMENT OR DEVICES NECESSARY FOR A COMPLETE AND OPERATIONAL

SHT FIXTURES IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. CODE REQUIREMENT AND RAWINGS SHALL CONFIRM COMPATIBILITY AND INTERFACE OF OTHER MATERIALS WITH LIGHT FIXTURE AND

REVIEW ROOM FINISH SCHEDULE AND CEILING DRAWINGS. NOTIFY CONSULTANT OF ANY AND DEFER ORDERING UNTIL CLARIFIED. RED, COORDINATE WITH GENERAL CONTRACTOR FOR PROVISION OF 'BOX-OUTS' AROUND RECESSED MAINTAIN CEILING ASSEMBLY FIRE RATINGS. OTHERWISE, LUMINARIES TO BE CHAIN SUSPENDED TO BOTTOM OF JOISTS IN EXPOSED CEILING

FIXTURES TO METAL RACEWAY, ARMOUR OF ARMOURED CABLE, OR TO A SEPARATE GROUNDING CCUPANCY SENSORS ARE FOR REFERENCE PURPOSES ONLY. COORDINATE LOCATION ON SITE TO

LETE COVERAGE. UATE SUPPORT FOR FIXTURES, LEVEL, PLUMB AND TRUE WITH STRUCTURE AND OTHER EQUIPMENT OR VERTICAL POSITION AS INTENDED. INSTALL WALL OR SIDE BRACKET MOUNTED LIGHT FIXTURE Y AND ADJUST TO NEATLY FLUSH WITH MOUNTING SURFACE. OTHERWISE, ADJUST LENGTHS OF HANGERS OF SUSPENDED LIGHT FIXTURES TO LEVEL FIXTURE SAME HORIZONTAL PLANE.

D LIGHT FIXTURES SHALL BE SUPPORTED BY CEILING T-BAR GRID STRUCTURE. PROVIDE PPORT NECESSARY FOR OVERSIZED LIGHT FIXTURES TO MEET CODE. RIM ACCEPTANCE OF THE WORK, CLEAN ALL GLASSWARE, LAMPS AND HANGERS. POLISH METAL

A COMPLETE WORKING COMMUNICATION SYSTEM READY FOR FINAL CONNECTION BY TELEPHONE RG-6 RATED COAXIAL CABLE FROM EACH CATV OUTLET TO TELECOMMUNICATION BACKBOARD. ND WITH F-TYPE CONNECTOR. PROVIDE APPLICABLE COVER PLATES TO SUIT. L A 4 PAIR CAT6 CABLE FROM EACH VOICE OUTLET (WHITE COLOR) BACK TO THE

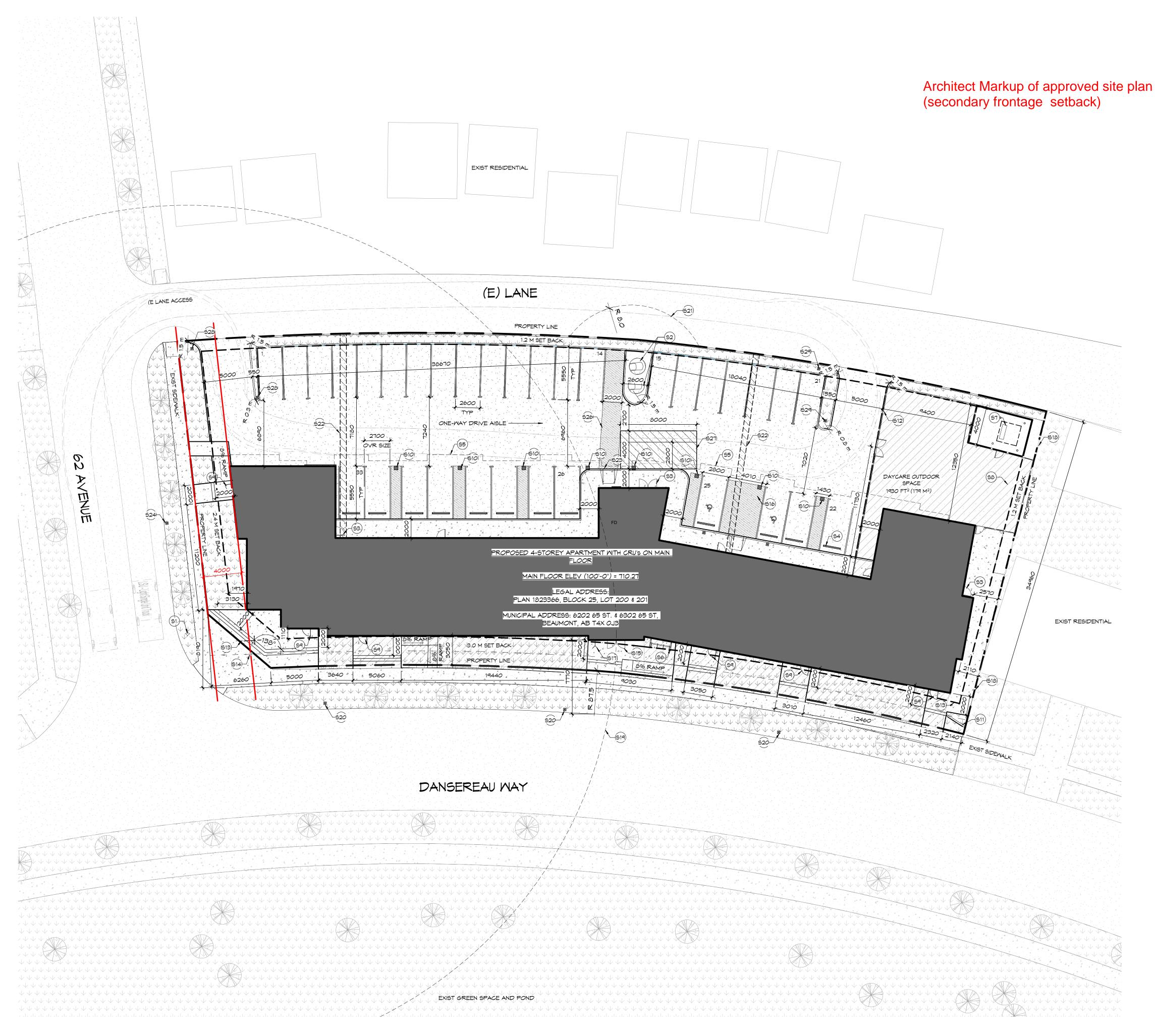
DN BACKBOARD. TERMINATE EACH VOICE OUTLET WITH RJ-11 CONNECTOR. PROVIDE APPLICABLE L A 4 PAIR CAT6 CABLE FROM EACH DATA OUTLET (BLUE COLOR) BACK TO THE ON BACKBOARD. TERMINATE EACH VOICE OUTLET WITH RJ-45 CONNECTOR.

ION RJ-11/RJ-45 ON EACH DUPLEX VOICE AND DATA OUTLET. RETURN AIR PLENUM SPACES TO BE INSTALLED IN EMT OR RIGID STEEL CONDUITS, OR IF RUN IN COMBUSTIBLE CONSTRUCTION THE CABLES SHALL MEET THE FT4 FLAME SPREAD RATING. F NON-COMBUSTIBLE CONSTRUCTION THE CABLE SHALL MEET THE FT6 FLAME SPREAD RATING. E BIX BLOCK(S) WHERE REQUIRED ON TELECOMMUNICATION BACKBOARD.TERMINATE EACH O BIX BLOCK. ALLOW 25% EXTRA CAPACITY FOR FUTURE CABLING.

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NG ENSURE ALL ELECTRICAL EQUIPMENT IS CLEANED AND FREE OF DUST. PROTECT EQUIPMENT SUBJECT TO DUST FROM CONSTRUCTION ACTIVITIES ER WHEN STARTING AND TESTING OF ALL SYSTEMS HAS BEEN COMPLETED. L OR COVER EQUIPMENT UNTIL INSPECTED, TESTED AND APPROVED BY ENGINEER. BILITIES ASSOCIATED WITH STARTING, TESTING AND BALANCING PROCEDURES. STS ASSOCIATED WITH STARTING, TESTING, ADJUSTING AND BALANCING, INCLUDING SUPPLY OF MENT AND WITNESSING OF FACTORY TESTING BY CONTRACTOR AND ENGINEER. STALL ALL EQUIPMENTS CALLED FOR IN THE DWG. ELECTRICAL CONTRACTOR TO INCLUDE PRICE OF TY TRADE FOR CABLING/PROGRAMMING AS PART OF THEIR BID.

Desigr Works **P**: 780 244 0252 **F**: 780 244 0252 Suite 1250 10130 103 St NW Edmonton, AB T5J 3N9 info@designworkseng.com www.designworkseng.com COPYRIGHT 2024 DESIGN WORKS ENGINEERING LTD. COPYRIGHT RESERVED THESE DRAWINGS AND DESIGN ARE THE EXCLUSIVE PROPERTY OF DESIGN WORKS ENGINEERING LTD. AND MAY NOT BE REPRODUCED IN ANY WAY OR FORM WITHOUT THE DIRECT WRITTEN PERMISSION OF DESIGN WORKS ENGINEERING LTD. NOTES THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS SIGNED AND SEALED, AND DRAWINGS HAVE BEEN ISSUED FOR CONSTRUCTION IN THE TABLE BELOW. DO NOT SCALE THIS DRAWING. Date No. Description ISSUED FOR DEVT. PLAN 2024-04-29 1 2 RE-ISSUED FOR DEV'T PERMIT 2024-07-31 3 RE-ISSUED FOR DEV'T PERMIT 2024-10-08 ARCHITECT CLIENT SEAL PERMI RADP DRAWN BY: CHECKED BY: SHERRY KALDAS HAYDAR AL DAHHAN, P.ENG. ENGINEER: PROJECT #: 2024057 SCALE: AS NOTED PROJECT DANSEREAU MEADOWS 6202 65 St. and 6302 65 St. BEAUMONT, AB DESCRIPTION Electrical Specification DRAWING NO. SHEET E3.0





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ZONING- INTEGRATED NEIGHBORHOOD DISTRICT

SITE COVERAGE PERMITTED - 55% SITE AREA = 2,972 M² (31,989 FT²)

BUILDING COVERAGE = 950 M² (10,233 FT²) = 32% SITE COVERAGE

TOTAL BUILDING AREA = 52,989 FT² (4,922 M²)

PARKING RESIDENTIAL - 1 STALL PER UNIT OVER 75 M²

RETAIL & SERVICE (GENERAL) - 1 STALL PER 100 M² LOT COVERAGE REQ'D = 11

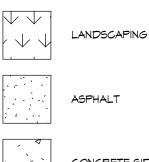
PROVIDED = 33 (2 BARRIER FREE)

PARKING LOT COVERAGE: 1,099 M² (11,827 FT²) / 2,972 M² (31,989 FT²) = 37% OF SITE

GENERAL NOTES:

- 1 SEE CIVIL FOR DRAINAGE/UTILITY PLAN/LOCATIONS AND BARRIER-FREE RAMP SLOPES
- 2. SEE ELEC AND MECH SITE DWGS FOR EXTENT OF SUB-SURFACE WORK TO BE DONE.
- 3. SEE E1.0 SITE PLAN FOR EXTENT OF SITE LTG
- 4. SEE L101 FOR LANDSCAPING PLAN.
- 5. AT CONCRETE SIDEWALKS, INSTALL JOINTS AT 10'-0" C/C AND 1/2" CONTROL JOINTS W/ BITUMOUS JOINT FILLER EVERY 30'-0", AND AT START/END OF CURVES.
- 6. CONTROL JOINTS (CJ) SHALL BE LOCATED WHERE SIDEWALK ABUTS CONC DRIVEWAYS, CURBS OR OTHER ADJACENT STRUCTURES.
- 1" DEEP CONTROL JOINTS SHALL BE PLACED AT INTERVALS OF APPROX. 15'-0" (4572mm), OR AT SPACING THAT MATCHES ADJACENT CURB.
- 8. FORMED CONTROL JOINTS SHALL BE FINISHED WITH A TOOL HAVING A 3/8" (9mm) RADIUS.
- SCORED JOINTS (SJ) SHALL BE 1/4" (6mm) DEEP AND PLACED AT THE SPACING INDICATED FOR THE WIDTH OF SIDEWALK OR MATCH SCORED JOINTS OF ADJACENT CURB.
- 10. CONC SHALL BE FINISHED BY MEANS OF A FLOAT, STL TROWEL AND BROOMED W/ A FINE BRUSH IN A TRANSVERSE DIRECTION.
- 11. CONTR TO LAYOUT FRONT PORTION OF PARK'G AND LANDSCAPING PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT FOR SITE MEETING. START LAYOUT FROM FRONT OF BLDG AND PRIORITIZE CRITICAL DIMS.
- 12. ALL BARRIER-FREE PARK'G STALLS TO BE PROVIDED WITH PROPER SIGNAGE AS PER CAN/CSA-B651-04, SECTION 5.2.2 (SIGNS FOR DESIGNATED PARK'G). SEE DTL 3/A1.
- WHERE (E) CURB IS REQ'D TO BE RMV'D, CONTR TO ALLOW FOR ADDITIONAL DEMO FOR NEW CONST, AND PROVIDE SMOOTH TRANSITION FROM NEW TO OLD, TYP.
- 14. EXIST TREES INSTALLED BY CITY SHOWN GREY
- 15. BUILDING LOCATION DIM'D FROM EXT OF SHEATHING
- 16. FIRETRUCK ACCESS TO BE ALONG PRIMARY BUILDING FRONTAGE

SITE LEGEND





--- G--- EXIST GAS LINE

CONCRETE SIDEWALK

CODED NOTES

- CODED NOTES SHOWN PERTAIN TO THIS SHEET ONLY
- (S1) EXIST FIRE HYDRANT, 42.8m TO FDC
- (52) MOLOK MODERN CLASSIC BIN (1) GARBAGE AND (1) RECYCLE, FINISHED W/ STONE GREY. LOCATE MIN. 300MM FROM CONC CURB
- (53) APARTMENT ENTRANCE /EXIT
- \sim
- (54) RBR WHEEL STOP, TYP
- (55) LINE OF FLOOR AND BALCONIES ABV
- (56) BIKE RACK W/ 6 STALLS
- (ST) PROPOSED TRANSFORMER LOCATION, CONTR TO ADJUST LOC TO SUIT
- (58) DAYCARE OUTDOOR SPACE W/ ARTIFICIAL TURF
- (S9) CRU ENTRANCE
- (510) CONC COL, SEE STRUCT FOR SIZE AND LOCATION
- (S11) FREE STANDING ADDRESS SIGNAGE, SIZE TBD
- (512) 1800MM WD FENCE ON 150MM CONC CURB
- (513) EXIST 3.0M U.R.O.W
- (514) EXIST GAS LINE, EXACT LOCATION TO BE FIELD VERIFIED
- 615 PRINCIPAL ENTRANCE
- 516 PAINTED NON SLIP LINES
- (517) FDC
- (518) EXIST WD FENCE ALONG RESIDENTIAL PROPERTY LINE
- (519) LINE OF EXIST FIRE HYDRANT COVERAGE
- 520 SEASONAL PARKING SIGNAGE , TBC BY CITY OF BEAUMONT
- (52) AREA REQ'D FOR MOLOK CRANE COLLECTION
- (52) UTILITY TRENCH TO EXIST STORM, SEE CIVIL AND MECH FOR ADD. INFO
- 623 PROPOSED RESIDENT DROP OFF
- (524) COMMERCIAL LOADING 15 MIN. MAX SIGNAGE
- 626 2m WIDE RAISED WALKWAY/SPEEDBUMP
- (52) 2.8m YELLOW PAINTED LINES, 1.2m WHITE PAINTED LINES LOADING ZONE
- 628 ONE-WAY DRIVE AISLE ENTRANCE ONLY/ NO EXIT SIGNAGE
- (52) ONE-WAY DRIVE AISLE EXIT ONLY/ NO ENTRANCE SIGNAGE



PROJECT NORTH

TRUE NORTH

	Revisions				
NO.	Issued For	Date			
8	IFBP	2024-12-02			
9	IFC	2025-03-10			

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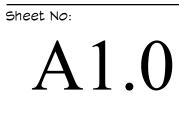


VOSHELL ARCHITECTURE AND DESIGN, INC.

9906 - 104 Street Fort Saskatchewan, AB TBL 2E8 780.589.4747 | www.vosharch.ca

Date:2025-03-10Drawn by:EA/CKChecked by:TVScale:As indicatedFile:24-008Sheet Name:

SITE PLAN



TO ADJUST LOC TO SUIT

Dansereau Meadows Outline Plan

Proposed Amendment



Prepared by: Stantec Consulting Ltd.

June 2, 2017 9th Submission

Dansereau Meadows Outline Plan

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1.0 Administration

1.1 PURPOSE

The purpose of this Outline Plan is to describe the land use framework and development objectives for a quarter section of land in north Beaumont located immediately south of Township Road 510 and immediately east of Range Road 243. The area of the Outline Plan is contemplated in the Beaumont Municipal Development Plan (MDP) as one of a number of neighbourhood units accommodating future growth in north Beaumont.

The Outline Plan for the NW ¼ Sec. 34-50-24-W4 has been prepared by Stantec Consulting Ltd. on behalf of United Acquisition II Corp.

The overall concept puts forth a pattern for development as a community of residential and recreational opportunities integrated with complementary land uses. In order to achieve this, the Outline Plan is designed with interconnected parks and open space linkages and the development of high-quality and varied residential development opportunities. Together, these aspects will provide the Town of Beaumont with a vibrant and sustainable area for community development.

The Outline Plan describes the land use framework and development objectives by identifying the type, size and location of various land uses, density of development, location of major roadways, conceptual servicing designs and sequence of development. The detailed design of each phase (re-districtings and plans of subdivision) will refine the concept presented by the Outline Plan.

Approval of the Outline Plan will provide the basis for proceeding with the land use concept generally as shown.

The Outline Plan provides the opportunity to develop components of the overall design in the initial phases of development through recreational amenities, a variety of housing forms and lifestyles, and by beginning the interconnected trail system incorporated as an integral part of the overall development concept.

1.2 TIMEFRAME

Development within the Dansereau Meadows Outline Plan area is expected to commence in Fall 2007 and is estimated to be fully complete within five years at current absorption rates.

1.3 INTERPRETATION

All symbols, locations, and boundaries shown in the Outline Plan figures shall be interpreted as conceptual unless otherwise specified in the document, or where they coincide with clearly recognizable physical or fixed features within the plan area.

1.4 ORIENTATION

This document contains six sections.

- Section 1 provides administrative information and an orientation to the plan.
- Section 2 describes the Dansereau Meadows Outline Plan location, background, topography, existing land uses and surrounding development.
- Section 3 describes the development objectives and principles of the Dansereau Meadows Outline Plan.
- Section 4 outlines the development concept as it relates to the residential, parks and open spaces, institutional, public utility and transportation land uses for the Neighbourhood.
- Section 5 describes the servicing scenarios required for the plan area.
- Section 6 describes the proposed framework to achieve the development of the plan area.

2.0 Neighbourhood Context

2.1 LOCATION

The Dansereau Meadows Outline Plan is comprised of land located within the NW ¹/₄ Section 34-50-24-W4, containing approximately 63.8 hectares (157.6 acres). As shown in **Figure 1.0 – Context Plan**, the Outline Plan is defined by the following boundaries:

- North Boundary Township Road 510
- West Boundary Range Road 243
- East Boundary NE ¼ Section 34-50-24-W4 (Montalet neighbourhood)
- South Boundary SW ¼ Section 34-50-24-W4 (Eaglemont Heights neighbourhood)

Figure 1 also shows the area of the Outline Plan in relation to the surrounding areas of Beaumont.

The Outline Plan constitutes a logical planning unit with respect to identifiable plan boundaries and servicing considerations, and is consistent with the Beaumont MDP.

2.2 BACKGROUND

The Outline Plan for the NW ¼ Section 34-50-24-W4 has been prepared as a guiding document for development within the subject lands. The Beaumont MDP allows for the creation of this Outline Plan, which follows the guidelines and policies set forth by the Town of Beaumont in the development of new areas.

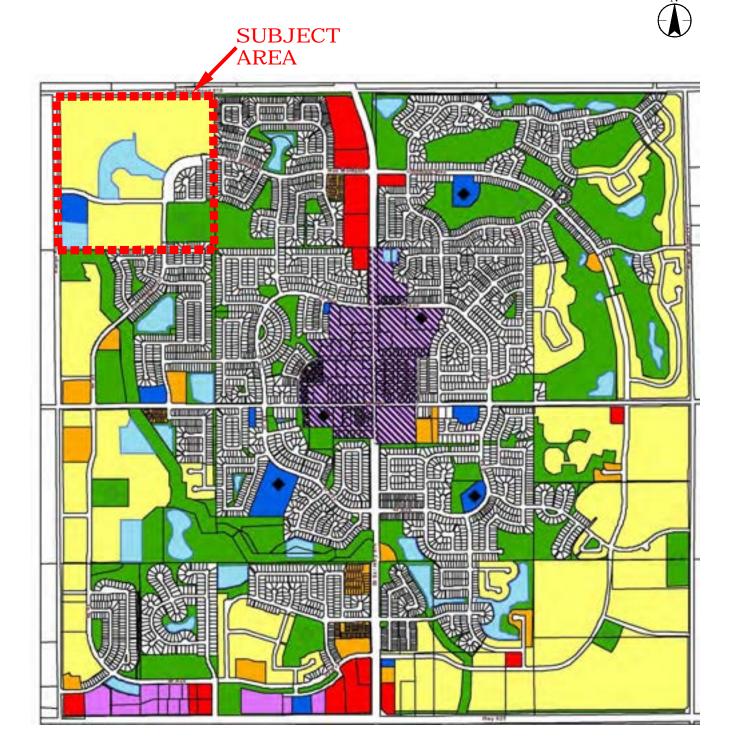
The Outline Plan provides general principles and broad land use categories upon which the development pattern is anticipated, though it also provides flexibility for the changing market place.

The area covered by the Outline Plan was part of a larger area annexed by the Town of Beaumont in January of 1999 from Leduc County.

2.3 TOPOGRAPHY

The topography of the Outline Plan slopes gradually from the highest area along the southeast corner of the plan area as well as from Township Road 510 at the north end of the quarter section and the eastern portion of the property adjacent to the N.E. ¹/₄ Sec. 34-50-24-W4 to the lowest on the west side approximately 150 meters east of Range Road 243 at the south side of the quarter section. Elevations range from approximately 714.5m to 707m for a total difference of about 7.5m (**Figure 2.0 – Site Contours**).

There are currently two existing drainage ditches across the property. One is registered Right-of-Way 022 7412 and guides overland drainage westerly from the Montalet neighbourhood, ultimately connecting to the LeBlanc creek drainage ditch south of the



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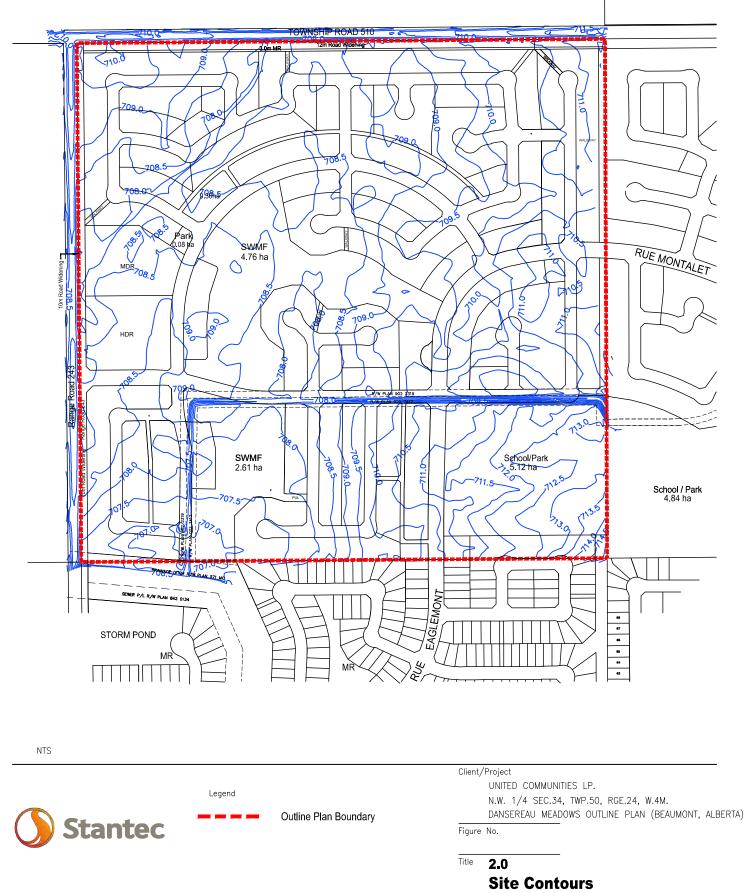


Water Soulies		UNI	
Comnersia		N.W	
Instructional		BEA	
Multi-Family	Made Family Restrices & Public (2008)		
Persitives & Public D Residented			
Land Uses in Accord	ance with Central Area Rodevelopment Plan	N.W BEA Figure No. 1.C Title CC	
Anare Dotions Exiting Schools	Page 80 of 160		
	-	11.181	

Client/Project UNITED COMMUNITIES LP. N.W. 1/4 SEC.34, TWP.50, RGE.24, W.4M. BEAUMONT, ALBERTA Figure No. 1.0 Title Context Plan

> JUNE 2, 2016 1161 104995 KC





June 2, 2017 1161 104995 KC

property, registered as Plan 571MC. A second drainage ditch, not within a registered right of way, carries overland drainage from north of Township Road 510 westerly to Range Road 243, connecting into the roadside ditch system.

The soil development and texture of this area is classified as clay loam with the parent mode of deposition being morainal. Soil conditions do not present any impediment to the development of this area for urban land uses.

The area subject to the Outline Plan has been used for agricultural purposes for many years. There is no vegetation existing on the site aside from a small stand of trees located just south of Township Road 510 and east of Range Road 243.

2.4 EXISTING LAND USE

The subject area consists primarily of agricultural land with no structures.

Utility Right-of-Way Plan 902 2319 is located along the east boundary of the Outline Plan and contains an existing sanitary trunk sewer line which also runs through the south-central portion of the plan. This existing alignment dictates the location and right of way width of the collector road at this point through the plan.

2.5 SURROUNDING DEVELOPMENT

The land located north and west of the Outline Plan (across Township Road 510 and west of Range Road 243 in Leduc County) is currently in use for agricultural purposes. The developing neighbourhoods of Eaglemont Heights (SW ¼ Sec. 34-50-24-W4) and Montalet (NE ¼ Sec. 34-50-24-W4) are immediately to the south and east respectively of the Outline Plan.

3.0 Development Objectives & Principles

3.1 DEVELOPMENT OBJECTIVES

The Dansereau Meadows Outline Plan for the NW ¼ Sec. 34-50-24-W4 has been prepared as a comprehensively planned residential neighbourhood taking advantage of the locational attributes of the area. The main objectives of the Outline Plan are:

- to develop a plan consistent with the general intent and purpose of the Town of Beaumont MDP;
- to provide a framework to deliver high quality, comprehensively planned residential, mixed use and open space areas by defining the general pattern and composition of land uses, linkages, servicing designs and development staging;
- to address and accommodate the surrounding, existing uses affecting the plan;
- to ensure the implementation of the plan takes place on an orderly, phased basis.

3.2 DEVELOPMENT PRINCIPLES

Development of the various land uses within the Outline Plan is defined through the following general principles:

3.2.1 Residential and Mixed Use

- Encourage housing types, including low-density single and semi-detached housing, medium-density town housing and high-density low-rise apartments, that will recognize consumer preferences and be in conformance with municipal standards and policies set forth by the Town of Beaumont.
- Encourage small-scale, neighbourhood-serving commercial uses to serve the day-today needs of residents of the neighbourhood, integrating them with medium-density residential uses.
- Encourage pedestrian friendly streetscapes and building siting.
- Establish sufficient overall residential densities within the Outline Plan to help support the efficient provision of municipal services, recreational and educational facilities in a timely fashion.
- Provide direct and safe pedestrian linkages to residential development cells and community nodes such as commercial, open spaces and school sites.
- Locate residential development to take advantage of features such as Stormwater Management Facilities, parks/open spaces and commercial amenities in proximity to the plan area.

3.2.2 Municipal Reserves and Educational / Community Facilities

- Provide school and park sites for educational and community facilities within the neighbourhood through the dedication of municipal reserves.
- Locate and size these sites to address the student and overall populations generated within the Outline Plan and in the context of surrounding areas.
- Allow for the provision of dispersed park space within the neighbourhood to provide open space and recreational opportunities for residents through the dedication of Municipal Reserves.
- Where possible and economically viable and sustainable, utilize the Stormwater Management Facilities to provide pedestrian linkages and open space recreational opportunities.

3.2.3 Transportation

- Provide a logical, safe and efficient transportation system within the plan area to address pedestrian, bicycle and other multi-use modes, and the transit / vehicular transportation needs of residents moving to, from and within the Outline Plan as well as the adjacent areas.
- Provide non-vehicular circulation options throughout the Outline Plan with special attention to linkages to the School and park sites, Stormwater Management Facilities and future development areas to the south.
- Minimize walking distances by creating an interconnected street network and providing walkways where roadway connections are not feasible.

3.2.5 Ecological Stewardship

- Develop land in an efficient manner and encourage intensive development.
- Incorporate open spaces into compatible land uses such as the Stormwater Management Facilities to optimize the use of these areas.
- Encourage naturalized landscaping on public and private lands to the extent acceptable to the Town of Beaumont to minimize environmental and economic costs associated with their maintenance.
- Promote the development of open spaces and walkway linkages for pedestrian, bicycle and other multi-use travel, and connect them to the surrounding areas.
- Encourage energy efficient construction and other innovative building and infrastructure techniques.

4.0 Development Concept

4.1 NEIGHBOURHOOD UNIT

The development concept for the Dansereau Meadows Outline Plan has been prepared in response to current and anticipated residential market trends within Beaumont and the immediately surrounding area. An analysis of these trends and an assessment of their implications assist in shaping the plan with respect to the type, size and location of various land uses.

The Outline Plan area is comprised of approximately 63.8 hectares of land and is bounded on the north and west sides by existing roadways, existing and future residential development to the south and existing / future residential development to the east. These boundary conditions create a logical planning unit and the basis for design as shown on **Figure 3.0 – Land Use**. The land use statistics, number of residential units and population are represented in **Table 1 – Land Use & Population Statistics** following the Development Concept.

4.2 RESIDENTIAL

The majority of land within the Outline Plan is intended for residential development. A mixture of low-density, medium-density and high-density residential dwelling units are proposed and will be implemented based on market conditions and consumer preferences at the time of development. A mixed use area is also proposed, intended to integrated medium density residential development with ground-floor commercial uses to serve the day-to-day needs of neighbourhood residents. Residential densities of 23 units per net residential hectare (upnrha) for the low density residential areas, 40 upnrha for the medium density residential and mixed use areas, and 80 upnrha for the high-density residential areas are used in the calculation of the estimated numbers of units for the neighbourhood. The numbers of people per household used for both population and student generation estimates are 3.03 for all residential development types.

The estimated land area, number of dwelling units and population attributed to the low, medium, mixed use and high density residential areas are identified in **Table 1 – Land Use & Population Statistics**.

4.2.1 Low Density Residential

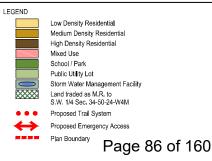
As shown on **Figure 3.0 – Land Use**, low density residential is located in proximity to the amenities offered by the Stormwater Management Facilities, walkways, school & park sites, transportation routes / nodes and utility corridors. Within the low density residential areas identified in the Outline Plan, housing forms will consist of single and semi-detached housing catering to a variety of lot and home sizes permitted in the low density residential land use districts of the Land Use Bylaw. Further consideration may be given, based on

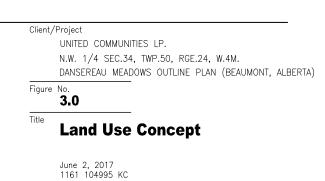




NTS







	DANSER	EAU MEA	DOWS			
	NE PLAN - F NW 1/4 S USE & PO	EC. 34-50	-24-W4	Ver h		
LAND USE		Area (ha)		% of GDA		
Gross Area		63.80				
TWP. RD. 510 (12.0 m Widening)		0.97				
Gross Developable Area	_	62.83		100.0%		
					MR % of GDA	-
Municipal Reserve (School) Municipal Reserve dedication along TR			5.12		8,15%	
510 (3m)			0.24		0 39%	
Municipal Reserve - Land Trade *			0.89		1.42%	
Municipal Reserve - NW Lot Total MR dedicated		6.33	90.0	10.08%	0.13%	
PUL / Stormweter Management Facilities		7.97		12 (99%		
Circulation (Collectors/Locals/Lanes)		13.30		21.16%		
Total Non-Residential Area		27.60		43.93%		
Net Residential Area		35.23		56.07%		
RESIDENTIAL LAND USE, DWELLING U	NIT COUNT AN	D POPULAT	NON			-
Land Use	Area (ha)	Units/ha	Units	% of Total	People/Unit Po	pulation
Low Density Residential	27.24	23	627	62	3.03	1896
Medium Density Residential	6.20	40	248	25	3.03	75
Moved Use High Density Residential	0.30	40.	12	1	3.03	30
Total	35.23	29	1006	100	0.00	304
Gross Density.	49	persons per	gross devel	opable hectars		
CRB Growth Plan Density	29	29 units per net residential hectare.				
STUDENT GENERATION**						
Ele.		A DOMESTICS	10100-000-000		. Liller (40. 40)	

Senior High (10-12) Elementary (K-6) Junior High (7-9) Total 302 151 Total 151

* Area of land trade between United Acquisition Corp II and S.W. 1/4 - Sec. 34 - Twp. 50 - Rge 24 - W4M (0.89 ha of municipal reserve).

** Calculation of Student Populations et 0.6 students per household: K-6 50% 7-9 25% 10-12 25%

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market and consumer demands, to development as Bareland Condominiums, whereby private roadways would provide access into the site.

The areas surrounding the stormwater management facilities may well include larger lot sizes in providing for a variety of residential lot values. Similarly, the areas surrounding the school & park sites may include a choice of larger lot sizes backing onto these open space amenities.

Low density residential development will be planned in clusters/cells to provide a greater sense of identity to the various residential sub-areas and to create a safe pedestrian environment. Architectural guidelines may be employed within the low density residential areas to ensure aesthetically pleasing residential streetscapes.

4.2.2 Medium Density Residential

Medium-density residential is to be developed as town housing, both in street-oriented and larger-site project forms.

Street-oriented town housing is identified in locations where rear lanes can be provided, ensuring an adequate supply of on-street parking for these higher-intensity land uses. Town housing is identified within the northcentral portion of the plan area as well as the southwest. Additional street-oriented town housing is also identified across from the school/park site, offering the potential for a greater number of families within easy walking distance of this school and amenity space.

A project town house site, with dwelling units intended to be served by private, internal roadways, is identified on the western edge of the neighbourhood, north of the neighbourhood access to Range Road 243. This site will be immediately adjacent to the amenity of the central Stormwater Management Facility and will provide a transition between residential land uses of differing density.

4.2.3 Mixed Use

Mixed use is to be developed in low-rise buildings with small-scale ground floor commercial and service uses and upper storey apartments, with buildings oriented towards a collector roadway. Where market conditions do not support the development of commercial uses on the ground floor, portions of the mixed use area may be developed for medium density residential development without a commercial component.

Mixed use is identified in a location where a rear lane can be provided, ensuring an adequate supply of on-street parking for this higher-intensity land use. The mixed use area is also identified adjacent to a park and across the collector roadway from the central stormwater management facility, potentially enhancing the public use of these amenity areas.

4.2.4 High Density Residential

High-density residential is to be developed as low-rise apartments. This land use has been identified in a single location at the intersection of two collector roadways and immediately adjacent to the neighbourhood access to Range Road 243. This is to ensure that this higher traffic generating land use is located with adequate roadway capacity and to avoid pulling larger volumes of traffic through the broader neighbourhood. It is also located adjacent to both stormwater management facilities to ensure convenient access to neighbourhood amenities.

4.3 PARKS AND OPEN SPACES

Parks and open spaces are provided in optimal locations throughout the Outline Plan. The total area of land dedication attributed to Municipal Reserves (MR) is 6.33 ha or 10.08% of the Gross Developable Area in excess of that required by the Municipal Government Act. The land dedication includes the future school site in the south-east corner, a 0.08 ha "Tot Lot" in the northwest of the plan area, and a parcel 3 m in width along the length of Township Road 510.

As part of the overall reserve dedication of 6.33 ha, an area of 0.89 ha in the south-east corner of the Outline Plan area has been previously provided as "MR land in kind" by the proponent of the Dansereau Meadows Outline Plan to the landowner of the SW ¼ Sec. 34-50-24-W4 (Eaglemont Corporation). The intention for this land was to augment the municipal reserve dedication of Eaglemont Heights by providing a site at the intersection of Rue Eaglemont and 50 Avenue that would be large enough to accommodate a public recreation facility. As such, since the 0.89 ha has been dedicated by the proponent of this Outline Plan, the land area has been included as part of the overall MR land dedication.

4.3.1 School / Park Sites

To comply with the Beaumont MDP, there is one area identified in the Outline Plan for the possible development of schools. The area in the southeast part of the plan combined with adjacent, future open space to the east in the Montalet neighbourhood is proposed to accommodate a joint school site. The southeast area includes a large park site in order to share and economize on field sizes. This area is also directly connected to the Beaumont Master Trail system.

The Outline Plan focuses on these areas and the stormwater management facilities in order to provide quality open space and recreational amenities, and incorporates a comprehensive network of pedestrian linkages to nearly all parts of the plan.

Fronting onto the Outer Ring Road to the west and a minor collector to the north, the school / park site has approximately 45% roadway frontage, providing opportunities for various access and parking alternatives. The site is also appropriately located to serve the Outline Plan as well as outside areas without significantly disrupting local traffic flows.

The southeast site has been subdivided under plan 1125848 and is approximately 5.12 ha.

4.3.2 Walkways and Trail System

The Outline Plan has been designed around the concept of community recreational nodes connected to all areas of the neighbourhood by a series of walkways and the Beaumont Master Trail Plan.

The walkway system provided within each development cell / cluster will be designed according to the Town of Beaumont standards and will be appropriate for each area.

The trail system connects all areas of the plan with appealing, safe and direct access to the community recreational nodes as well as to areas outside the plan. At the same time, the trail makes the most efficient connections for pedestrian and multi-use travelers. The trail system within and immediately adjacent to the Outline Plan on the west side is estimated at approximately 3 km in length.

4.4 COMMERCIAL

Given the proximity and range of commercial opportunities along 50 Street and the Town Centre, the proposed Outline Plan does not foresee a demand for large-scale commercial development within this neighbourhood. Small-scale neighbourhood-serving convenience commercial and/or services will be provided for by the mixed use area in the northwest portion of the neighbourhood.

4.5 STORMWATER MANAGEMENT FACILITIES

A central Public Utility Lot (stormwater management facility, "SWMF") of approximately 4.76 ha is located to take advantage of the existing topography and low lying areas. This facility also provides for recreational opportunities and has been configured to provide views from residential enclaves as well as from the walkway linkages and the collector / local roadway network.

A public utility lot on the southern edge of the plan area has been located directly north of the Leblanc canal drainage ditch. The area of the facility providing additional storage capacity for the canal is approximately 2.61 ha. The remainder of the PUL area is intended to accommodate two existing utility right of ways and a proposed sanitary lift station and off-line storage system.

The central stormwater management facility has been designed as a wet pond while the south pond is dry and will provide additional storage capacity for the Leblanc canal drainage ditch.

4.6 TRANSPORTATION

The system of roads proposed for the Outline Plan provides its residents and the surrounding, travelling public with safe and efficient access for this area of Beaumont. **Figure 4 – Road Hierarchy** presented later in the Outline Plan shows the overall road network.

The road system in the Outline Plan will be in general conformance with the current Beaumont Municipal Development Plan.

The Outer Ring Road will be extended across the subject parcel by extension of the Rue Montalet right-of-way from the Montalet neighbourhood. Street widths for the collector and minor residential streets will be in accordance with the Town of Beaumont's recommended dimensions, as shown in **Figure 4 – Road Hierarchy**.

Access to the surrounding 1.6 km (1 mile) arterial grid system is provided by collector roadway facilities traversing the neighbourhood. Collector roadways providing internal & external access are spaced at approximately 400m intervals to facilitate traffic progression and to ensure that sufficient intersection spacing is provided

In addition to the development of the collector roadway facilities, the Outline Plan incorporates a number of internal local roads which provide excellent access to various neighbourhood destinations such as the school / park sites and stormwater management facilities.

Corner-cuts are provided at the collector road entrance from Range Road 243 and may include features that will enhance the character of the area and provide a distinct identity for the Outline Plan.

4.6.1 Arterial Roadways

Arterial roadways are located on the north and west sides of the neighbourhood to accommodate the neighbourhood's major internal & external traffic flows. These roadways, Township Road 510 and Range Road 243, are currently constructed to a rural cross-section, but are considered as future arterial roadways.

4.6.2 Collector Roadways

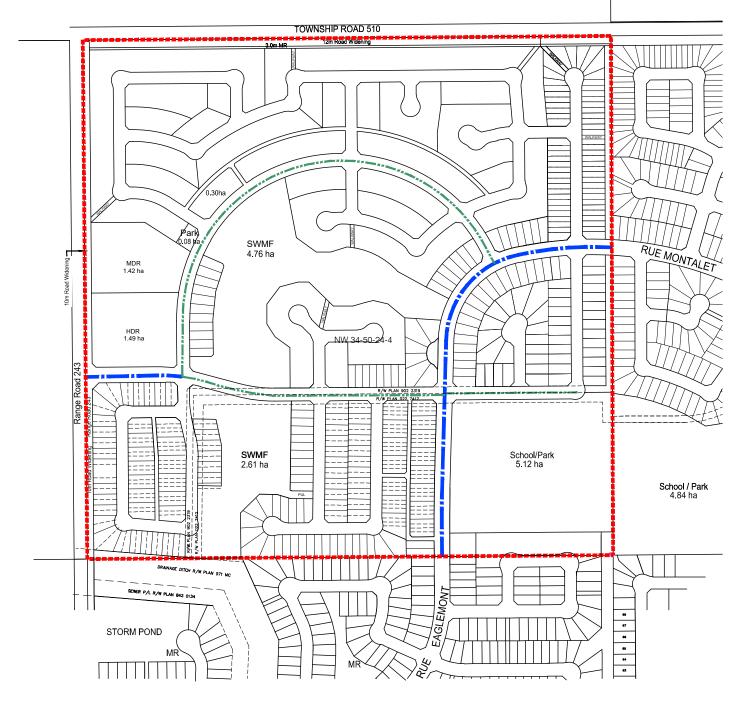
The Outline Plan provides for the extension of the Outer Ring Road (Rue Montalet) through this area leading to the west and then eventually south to meet with the proposed Eaglemont Heights development within the S.W. 1/4 34-50-24-W4M.

A collector road provides an east-west link from the Outer Ring Road to Range Road 243, while a second collector loops north and west of the Ring Road and provides linkages to the local road network in the northern portion of the plan area.

4.6.3 Local Roads

The system of local roads has been planned to provide access to individual development cells while at the same time discouraging outside traffic from short cutting through the neighbourhood. Local roads have been designed to meet the standards of the Town of Beaumont.





NTS



MAJOR COLLECTOR MINOR COLLECTOR Outline Plan Boundary

....

Client/Project UNITED COMMUNITIES LP. N.W. 1/4 SEC.34, TWP.50, RGE.24, W.4M. DANSEREAU MEADOWS OUTLINE PLAN (BEAUMONT, ALBERTA) Figure No.

Title 4.0 **Road Hierarchy**

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5.0 Engineering Services

This section of the Outline Plan defines the municipal infrastructure servicing concepts that are intended to guide the proposed development area. The general concepts for routing and phasing of the water, sanitary and storm sewer systems and roads are presented herein, with the details to be provided in the form of a Design Brief when required.

5.1 WATER DISTRIBUTION

5.1.1 General

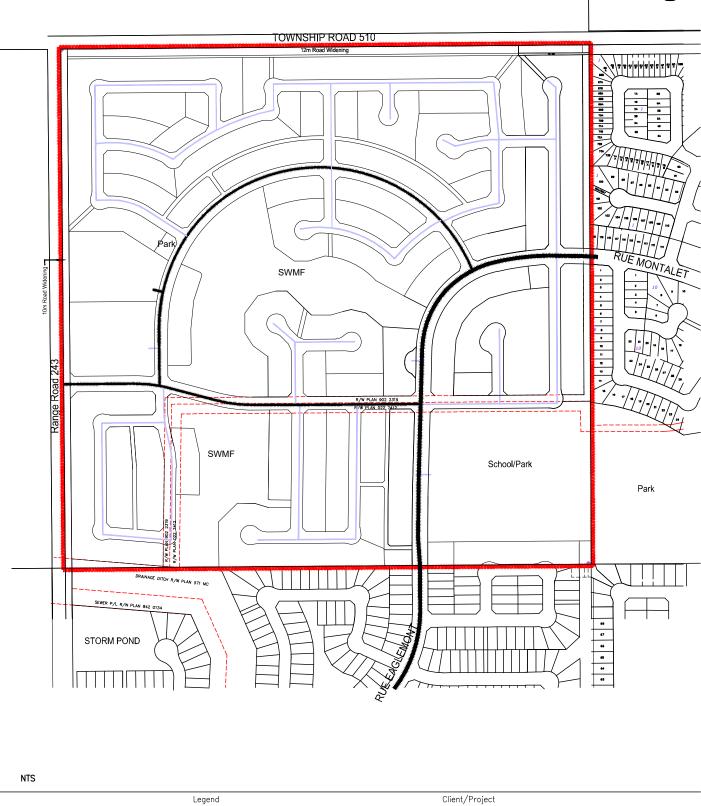
Figure 5 – Water Distribution System, illustrates the conceptual water distribution system that consists of a 300 mm trunk water main aligned along the Ring Road and a 250 mm secondary trunk aligned around the central stormwater pond, connecting on either end to the 300 mm trunk water main. The balance of water main through the subdivision is proposed at 200 mm.

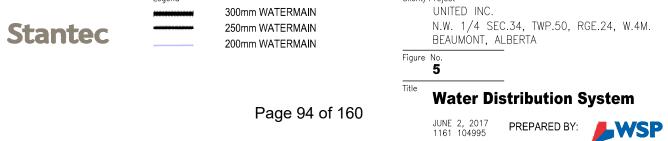
The water distribution system was designed based on boundary conditions provided by UMA Engineering Ltd. for a number of boundary pressure and flow conditions. The boundary condition scenarios included for one or two 300 mm trunk connections of the 300 mm, east connecting to the Montalet Subdivision and south connecting to the Eaglemont Subdivision for varying flows and pressures.

5.1.2 Design Criteria

The water distribution system as proposed:

- Conforms to the Towns' General Design Standards:
 - o 300 mm trunk main aligned along the Ring Road;
 - Provides 360 lpcd , peak day factor of 2.0 and peak hour factor of 4.0;
 - Generally operating pressures between 350 kpa (50 psi) and 550 kpa (80 psi) with some areas reaching 578 kpa (84 psi). The system can be designed to maintain pressures within the allowable pressures during the design phase.
- Fire Flows
 - Provides 180 l/s fire flow for the two urban service sites;
 - Provides 100 l/s fire flow for low density residential.





5.1.3 Boundary Connections

Based on the boundary conditions and for the initial phases of development, a single connection and extension of the 300 mm water main from the Montalet Subdivision is adequate. A single connection to the 300 mm trunk from Montalet, can satisfy peak day domestic demand and meet an urban institutional fire flow of 180 I/s for the urban institutional school site; and 180 I/s fire flow for the medium and high density residential sites to the west, provided the 250 mm is looped around the stormwater pond and connected to the 300 mm trunk main.

Connection to the future trunk 300 mm main in the Eaglemont Subdivision should be provided when:

- Development exceeds approximately 250 residential lots;
- Development extends along the Ring Road;

5.2 SANITARY SEWER SYSTEM

5.2.1 General

Figure 7 – Sanitary Sewer System, illustrates the proposed sanitary sewer system, comprised of the following major components:

- North Trunk Sewer presently servicing Coloniale Estates and Montalet Subdivision;
- Development Trunk Sewer connected to the North Trunk and traverses through the subdivision.
- Sanitary sewer collection system that connects to either the North Trunk or Development Trunk sewer;

5.2.2 Design Factors and Servicing Considerations

The sanitary sewer collection system design conforms to the Town of Beaumont General Design Standards and was influenced by a number of factors. The general topography of the site is relatively flat and is best serviced by a second trunk north of the stormwater pond that connects to the North Trunk in the northeast. Both the existing North Trunk and proposed development trunk sewer will be connected to the future ACRWC regional sanitary trunk expansion that is proposed over the next couple of years. This will increase the capacity of the offsite sanitary trunk to service new development in Beaumont, including Dansereau Meadows.





5.2.3 Sanitary Sewer Servicing

As contemplated, the development sanitary sewer system is proposed to function as follows:

- A Development Trunk Sanitary sewer that connects to the North Trunk in the northeast corner of the development that could convey diverted flows from the North Trunk into the sanitary sewer system.
- The development area generally north, east and west of the Development Trunk would be serviced by that trunk sanitary sewer.

5.3 STORMWATER MANAGEMENT

5.3.1 General

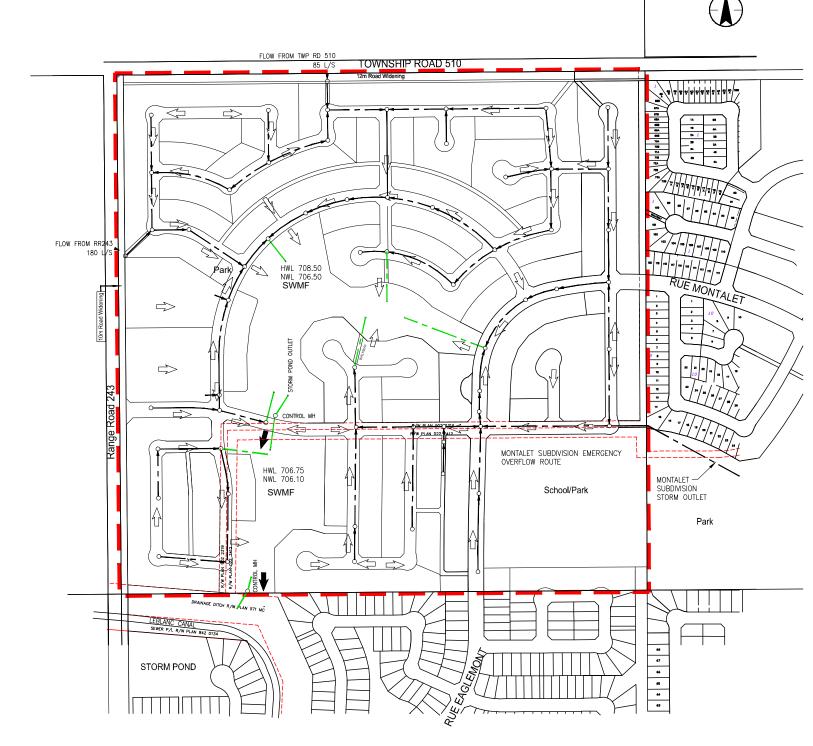
Figure 8 – Stormwater Management, illustrates the proposed stormwater system that is comprised of the following components:

- Outfall from Montalet Stormwater Pond and emergency overflow to the Beaumont West Stormwater Pond;
- LeBlanc Canal Flood Plain Storage;
- Stormwater piping system;
- Major overland flow routes.

5.3.2 Design Factors and Servicing

The stormwater management system conforms to the Town of Beaumont General Design Standards and was influenced by a number of factors that include:

- Discharge from the present Montalet storm pond discharge via a pipe that conveys controlled flow to an open ditch that flows to the LeBlanc Canal. A means to convey the flow along with providing a route for the emergency overflow from the pond is required;
- A 2.61 hectare PUL (South SWMF) has been included on the southern edge of the Outline Plan area which would account for off-stream historical flood storage as well as providing storage for on site development. The required flood storage would be accommodated between the existing flood elevation of 707.75 m and the High Water Line (HWL);



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STORM OUTFALL OVERLAND FLOW ROUTE STORM SEWER OVERLAND EMERGENCY OVERFLOW

Client/Project UNITED INC. N.W. 1/4 SEC.34, TWP.50, RGE.24, W.4M. BEAUMONT, ALBERTA Figure No. 7

Title **Storm Water Management System**

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June 2, 2017 1161 104995 PREPARED BY:



- The minor stormwater piping system and major overland flow discharge to the central stormwater management pond then to the south pond and finally into LeBlanc Canal;
- The 4.76 hectare central stormwater pond accepts stormwater flows from the development and discharges to the 2.61 hectare flood storage area (South SWMF) at a controlled rate. The high-water level is 708.5 m, normal water level at 706.5 m and bottom elevation of 704.0 m. Emergency overflow above the 708.5 m high-water level discharges to the LeBlanc Canal through the south pond.

5.4 SHALLOW BURY UTILITIES – POWER, TELEPHONE, GAS, CABLE

Alignment, location and routing of the shallow utilities will be subject to the conditions of the various franchise agreements between the Town of Beaumont and the utility providers. Essentially, all utilities will be underground and located within the road right-of-way. Where necessary, easements will be provided on private property.

As in other areas of Beaumont, a 3.0 m easement will be provided inside the front property line for the installation and maintenance of the natural gas line.

Power and cable will be provided in shallow trenches in the boulevard on either side of the road, as per Town of Beaumont preferences. The boulevard will also accommodate the necessary transformers, pedestals and switching cabinets. Street lighting will also conform to the Town of Beaumont alignment preferences.

6.0 Implementation

6.1 DEVELOPMENT STAGING

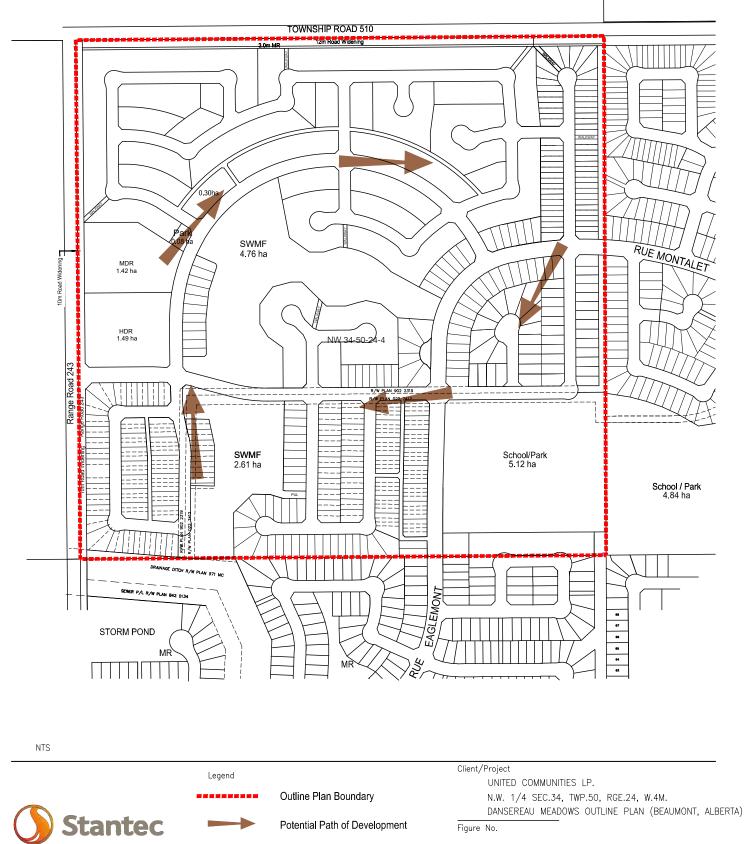
Infrastructure to service the area covered by the Outline Plan will initially be extended westward into the neighbourhood from Rue Montalet (Outer Ring Road) located at the east boundary of the plan area. Each successive stage will be developed with the logical and economical extension of these municipal services, with the intent of meeting the needs of the regional and local housing market.

Development in the first part of the Outline Plan is anticipated to begin from the westerly extent of Rue Montalet and proceed towards the southwest and then north portions of the plan area (**Figure 8 – Proposed Staging**). The development of individual phases may vary slightly from the actual redistricting and subdivision applications and as well portions of separate phases may be developed concurrently if there is sufficient demand and/or if the engineering design is made more efficiently as a result.

6.2 REDISTRICTING & SUBDIVISION

Redistricting and subdivision applications to conform to the land use designations described in the Outline Plan will be undertaken as necessary. Guided by the Town of Beaumont's MDP and the intent of this Outline Plan, redistrictings and subdivisions will be required to adhere to the Town of Beaumont Land Use Bylaw and the informational requirements necessary for each application.





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Proposed Staging

8.0

Title

RSA 2000, c M-26 | Municipal Government Act | CanLII

in the form and manner provided for in the land use bylaw that the application is complete.

(8) If the applicant fails to submit all the outstanding information and documents on or before the date referred to in subsection (6), the application is deemed to be refused.

(9) If an application is deemed to be refused under subsection (8), the development authority must issue to the applicant a notice in the form and manner provided for in the land use bylaw that the application has been refused and the reason for the refusal.

(10) Despite that the development authority has issued an acknowledgment under subsection (5) or (7), in the course of reviewing the application, the development authority may request additional information or documentation from the applicant that the development authority considers necessary to review the application.

(11) Repealed 2020 c39 s10(49).

2016 c24 s125;2020 c39 s10(49)

Development Appeals

Permit deemed refused

684(1) The development authority must make a decision on the application for a development permit within 40 days after the receipt by the applicant of an acknowledgment under section 683.1(5) or (7) or, if applicable, in accordance with a land use bylaw made pursuant to section 640.1 (b).

(2) A time period referred to in subsection (1) may be extended by an agreement in writing between the applicant and the development authority.

(3) If the development authority does not make a decision referred to in subsection (1) within the time required under subsection (1) or (2), the application is, at the option of the applicant, deemed to be refused.

(4) Section 640(5) does not apply in the case of an application that was deemed to be refused under section 683.1(8).

RSA 2000 cM-26 s684;2016 c24 s126;2018 c11 s13

Grounds for appeal

685(1) If a development authority

- (a) fails or refuses to issue a development permit to a person,
- (b) issues a development permit subject to conditions, or
- (c) issues an order under section 645,

the person applying for the permit or affected by the order under section 645 may appeal the decision in accordance with subsection (2.1).

(1.1) A decision of a development authority must state whether an appeal lies to a subdivision and development appeal board or to the Land and Property Rights Tribunal.

(2) In addition to an applicant under subsection (1), any person affected by an order, decision or development permit made or issued by a development authority may appeal the decision in accordance with subsection (2.1).

(2.1) An appeal referred to in subsection (1) or (2) may be made Page 102 of 160 https://www.canlii.org/en/ab/laws/stat/rsa-2000-c-m-26/latest/rsa-2000-c-m-26.html?searchUrlHash=AAAAAQADNjg1AAAAAAE&offset=363.6363... 311/338

- (a) to the Land and Property Rights Tribunal
- (i) unless otherwise provided in the regulations under section 694(1)(h.2)(i), where the land that is the subject of the application

(A) is within the Green Area as classified by the Minister responsible for the Public Lands Act,

- (B) contains, is adjacent to or is within the prescribed distance of a highway, a body of water, a sewage treatment or waste management facility or a historical site,
- (C) is the subject of a licence, permit, approval or other authorization granted by the Natural Resources Conservation Board, Energy Resources Conservation Board, Alberta Energy Regulator, Alberta Energy and Utilities Board or Alberta Utilities Commission, or
- (D) is the subject of a licence, permit, approval or other authorization granted by the Minister of Environment and Protected Areas or the Minister of Forestry, Parks and Tourism,

or

(ii) in any other circumstances described in the regulations under section 694(1)(h.2)(ii),

or

(b) in all other cases, to the subdivision and development appeal board.

(3) Despite subsections (1) and (2), no appeal lies in respect of the issuance of a development permit for a permitted use unless the provisions of the land use bylaw were relaxed, varied or misinterpreted or the application for the development permit was deemed to be refused under section 683.1(8).

(4) Despite subsections (1), (2), (2.1) and (3), if a decision with respect to a development permit application in respect of a direct control district

(a) is made by a council, there is no appeal to the subdivision and development appeal board, or

(b) is made by a development authority, the appeal may only be made to the subdivision and development appeal board and is limited to whether the development authority followed the directions of council, and if the subdivision and development appeal board finds that the development authority did not follow the directions it may, in accordance with the directions, substitute its decision for the development authority's decision.

> RSA 2000 cM-26 s685;2015 c8 s73;2016 c24 s127; 2020 cL-2.3 s24(41);2022 c16 s9(81);2022 c21 s57;2020 c39 s10(50)

Appeals

686(1) A development appeal is commenced by filing a notice of the appeal, containing reasons, with the board hearing the appeal

(a) in the case of an appeal made by a person referred to in section 685(1)

(i) with respect to an application for a development permit,

(A) within 21 days after the date on which the written decision is given under section 642, or

(B) if no decision is made with respect to the application within the 40-day period, or within any extension of that period under section 684, within 21 days after the date the period or extension expires,

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RSA 2000, c M-26 | Municipal Government Act | CanLII

(3) In respect of a direct control district, the council may decide on a development permit application or may delegate the decision to a development authority with directions that it considers appropriate.

(4) Repealed 2015 c8 s66.

RSA 2000 cM-26 s641;2015 c8 s66

Permitted and discretionary uses

642(1) When a person applies for a development permit in respect of a development provided for by a land use bylaw pursuant to section 640(2)(b)(i), the development authority must, if the application otherwise conforms to the land use bylaw and is complete in accordance with section 683.1, issue a development permit with or without conditions as provided for in the land use bylaw.

(2) When a person applies for a development permit in respect of a development that may, in the discretion of a development authority, be permitted pursuant to section 640(2)(b)(ii), the development authority may, if the application is complete in accordance with section 683.1, issue a development permit with or without conditions as provided for in the land use bylaw.

(3) A decision of a development authority on an application for a development permit must be in writing, and a copy of the decision, together with a written notice specifying the date on which the written decision was given and containing any other information required by the regulations, must be given or sent to the applicant on the same day the written decision is given.

(4) If a development authority refuses an application for a development permit, the development authority must issue to the applicant a notice, in the form and manner provided for in the land use bylaw, that the application has been refused and provide the reasons for the refusal.

(5) Despite subsections (1) and (2), a development authority must not issue a development permit if the proposed development does not comply with the applicable requirements of regulations under the *Gaming, Liquor and Cannabis Act* respecting the location of premises described in a cannabis licence and distances between those premises and other premises.

RSA 2000 cM-26 s642;2016 cs24 s102;2017 c13 s1(58) ; 2017 c21 s28;2018 c11 s13;2020 c39 s10(31)

Non-conforming use and non-conforming buildings

643(1) If a development permit has been issued on or before the day on which a land use bylaw or a land use amendment bylaw comes into force in a municipality and the bylaw would make the development in respect of which the permit was issued a non-conforming use or non-conforming building, the development permit continues in effect in spite of the coming into force of the bylaw.

(2) A non-conforming use of land or a building may be continued but if that use is discontinued for a period of 6 consecutive months or more, any future use of the land or building must conform with the land use bylaw then in effect.

(3) A non-conforming use of part of a building may be extended throughout the building but the building, whether or not it is a non-conforming building, may not be enlarged or added to and no structural alterations may be made to it or in it.

(4) A non-conforming use of part of a lot may not be extended or transferred in whole or in part to any other part of the lot and no additional buildings may be constructed on the lot while the non-conforming use continues.

(5) A non-conforming building may continue to be used but the building may not be enlarged, added to, rebuilt or structurally altered except Page 104 of 160

SDAB-25-03 DEVELOPMENT AUTHORITY PRESENTATION

May 12, 2025



LOCATION & ZONING





APPLICATION

- Development Authority received an application on April 12, 2024 for a four-storey mixed use building including:
 - Ground Floor Daycare: 567.3m²
 - Ground Floor Commercial Retail Unit (CRU) 1: 141.7m²
 - Ground Floor Commercial Retail Unit (CRU) 2: 106.7m²
 - 54 residential units located on floors 2 through 4 ranging from 36.8m² to 77.9m² in area
- May 6, 2024 Application Deemed Complete
- October 10, 2024 Development Permit issued for a permitted use with no variances
- January 24, 2025 Building Permit Issued
- January 28, 2025 Site Works Commencement

GROUNDS FOR APPEAL

Section 685(3) of the Municipal Government Act (MGA)

Despite subsections (1) and (2), no appeal lies in respect of the issuance of a development permit for a permitted use unless the provisions of the land use bylaw were relaxed, varied or misinterpreted or the application for the development permit was deemed to be refused under section 683.1.



IN DISTRICT – BYLAW 944–19 LAND USE BYLAW

Uses

- Dwelling Unit(s) Permitted
- Education (Daycare) Permitted
- CRU Unknown; Use Permit Required

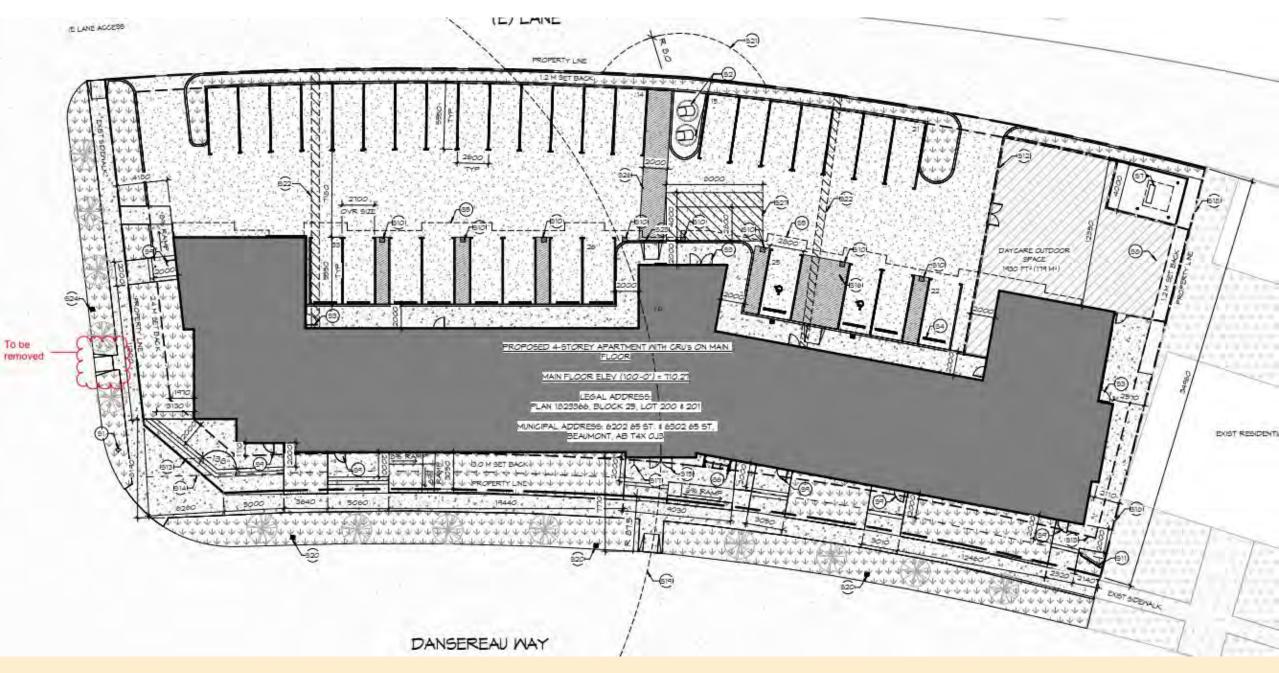


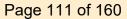
IN DISTRICT – DEVELOPMENT REGULATIONS

- Use Standards
- Block/Subdivision Standards
- Residential Density
- Building Placement Standards

- Building Profile Standards
- Frontage Type Standards: Stoop
- Landscaping & Screening Standards
- Parking, Access & Loading Standards











BEAUMONT

IN DISTRICT – RESIDENTIAL DENSITY

a) Minimum

- i) For built up areas: 1 dwelling unit(s) per lot
- **ii) For planned development**: 35 units per net hectare or <u>as per the applicable</u> area structure plan, neighbourhood structure plan or <u>outline plan</u>. Shadow plans for future phased of development shall be required to demonstrate how the minimum density is achieved.





IN DISTRICT – MINIMUM RESIDENTIAL DENSITY

Dansereau Outline Plan Density: Mixed Use

Land Use	Area	Units/ha	Units	People/Unit	Populatio
	(ha)				n
Mixed Use	0.3ha	40	12	3.03	36

The application includes 54 dwelling units on the 0.29ha parcel which results in a density of 186 dwelling units per hectare(du/ha). The density exceeds the 40du/ha (12 units) density outlined in the OP. The application **meets the minimum density regulation**.



IN DISTRICT – MAXIMUM RESIDENTIAL DENSITY

b) Maximum No Requirement

- There is no requirement for maximum density, therefore the application **meets the maximum density regulation.**
- In addition, no amendments to the Outline Plan (OP) were required to facilitate the development.
- At the development permit stage, the Land Use Bylaw (LUB) regulations become the standards to which an application for a permitted use is evaluated against.
- Based on the LUB regulations at the time of approval, a refusal or OP amendment would only be considered if the application proposed a density less that 40 du/ha.



IN DISTRICT – PARKING REGULATIONS

Minimum parking requirements:

Dwelling Unit(s)	3 stalls
Education Use	12 stalls
Commercial Retail Units	5 stalls
(CRU)	
Total:	20 stalls
nimum required parking is 20	stalls, and t

The minimum required parking is 20 stalls, and the applicant has provided 33 parking stalls; **meets the regulations**.



ISSUANCE OF DEVELOPMENT PERMIT

Based on the outlined considerations, the application for 2024-037 Mixed Use Building: 54 Dwelling Units and 3 Commercial/Institutional Units including 1 Education Use and 2 Commercial Retail Units, considered under the IN District was approved with conditions by the DA for the following reason(s):

- 1. The application was for permitted uses (Dwelling Unit(s) and Education),
- 2. The application did not include any variances to the regulations of the IN District within the Land Use Bylaw, and therefore,
- 3. The Development Authority must, under S. 642 of the Municipal Government Act, issue the development permit with or without conditions.



April 17,2025

City of Beaumont Subdivision and Development Appeal Board ATTN: SDAB Secretary 5600 49 Street

Beaumont, AB T4X1A1

As per direction from of Mayor WM.Daneluik, Beaumont City Council and city administration on the evening of Tuesday April 8th,2025 at council chambers. Please accept this letter of appeal for Application #2024-037, located at 6202 & 6302 65 Street, Beaumont, AB.

I wish to appeal this development permit as it did not provide an appropriate public hearing for affected residents adjacent to the development. The lack of a public hearing contravened numerous sections of "Our Zoning Blueprint" (Land Use Bylaw 944-19), adopted April 9,2019. The development also does not meet numerous objectives and principles of the Dansereau Meadows Outline Plan adopted June 02, 2017. No resolutions to the plan have been passed prior to this development plan approval. This development approval is in contravention to numerous policies stated in the Terms of Reference for Statutory and Non-Statutory Land Use Plans. This Document was adopted August 27,2020.

I have been advised on Monday April 14, 2025 that the approval for this development without a public hearing was based on their interpretation that requirements fell within the scope of Land Use Bylaw 944-19. As a result of their interpretation I wish to proceed with an appeal based on the above noted contraventions.

I look forward to your response,

Regards,		
Lauren de Graaf		

Appeal# SDAB-25-03 Appellant Submission Materials

Dansereau Meadows Outline Plan, last amendment June 2, 2017, prepared by Stantec Consulting Ltd.

1.0 Administration

1.3 INTERPRETATION All symbols, locations, and boundaries shown in the Outline Plan figures shall be interpreted as conceptual unless otherwise specified in the document, or where they coincide with clearly recognizable physical or fixed features within the plan area.

2.4 EXISTING LAND USE The subject area consists primarily of agricultural land with no structures. Utility Right-of-Way Plan 902 2319 is located along the east boundary of the Outline Plan and contains an existing sanitary trunk sewer line which also runs through the south-central portion of the plan. This existing alignment dictates the location and right of way width of the collector road at this point through the plan.

Please Note : at time of Outline development stake holders were limited for public consultation as shown in **Figure 1.0 Context Plan** on page 4 of this document

3.2 DEVELOPMENT PRINCIPLES

Development of the various land uses within the Outline Plan is defined through the following general principles:

3.2.1 Residential and Mixed Use

• Encourage housing types, including low-density single and semi-detached housing, medium-density town housing and high-density low-rise apartments, that will recognize consumer preferences and be in conformance with municipal standards and policies set forth by the Town of Beaumont.

 Encourage small-scale, neighbourhood-serving commercial uses to serve the day-today needs of residents of the neighbourhood, integrating them with medium-density residential uses

4.2 RESIDENTIAL

The majority of land within the Outline Plan is intended for residential development. A mixture of lowdensity, medium-density and high-density residential dwelling units are proposed and will be implemented based on market conditions and consumer preferences at the time of development. A mixed use area is also proposed, intended to integrated medium density residential development with ground-floor commercial uses to serve the day-to-day needs of neighbourhood residents. Residential densities of 23 units per net residential hectare (upnrha) for the low density residential areas, 40 upnrha for the medium density residential **and mixed use areas**, and 80 upnrha for the high-density residential areas are used in the calculation of the estimated numbers of units for the neighbourhood. The numbers of people per household used for both population and student generation estimates are 3.03 for all residential development types. The estimated land area, number of dwelling units and population attributed to the low, medium<mark>, mixed use</mark> and high density residential areas are identified in Table 1 – Land Use & Population Statistics.

4.2.3 Mixed Use

Mixed use is to be developed in low-rise buildings with small-scale ground floor commercial and service uses and upper storey apartments, with buildings oriented towards a collector roadway. Where market conditions do not support the development of commercial uses on the ground floor, portions of the mixed use area may be developed for medium density residential development without a commercial component.

Mixed use is identified in a location where a rear lane can be provided, ensuring an adequate supply of on-street parking for this higher-intensity land use. The mixed use area is also identified adjacent to a park and across the collector roadway from the central stormwater management facility, potentially enhancing the public use of these amenity areas.

6.2 REDISTRICTING & SUBDIVISION

Redistricting and subdivision **applications to conform to the land use designations described in the Outline Plan** will be undertaken as necessary. Guided by the Town of Beaumont's MDP and the intent of this Outline Plan, redistrictings and subdivisions will be required to adhere to the Town of Beaumont Land Use Bylaw and the informational requirements necessary for each application.

As one can see there are numerous mentions of specificity in this document that relate to the mixed use area in Dansereau Meadows. This document was the basis for developers in selling properties to the current residents of the community.

Our Zoning Blueprint: Beaumont Land Use Bylaw , Bylaw 944-19

Adopted April 9,2019

PART 3: LAND USE DISTRICTS CONVENTIONAL NEIGHBOURHOOD DISTRICT (CN)

3.3 CONVENTIONAL NEIGHBOURHOOD DISTRICT (CN)

3.3.1 Intent General

Intent: To provide opportunities for lower density forms of residential development similar to what currently exists in Beaumont. In planned areas, land shall only be redistricted to this land use district if and where an approved Outline Plan, Area Structure Plan and / or Neighbourhood Structure Plan provides that direction.

How uses are mixed: The uses will be primarily different forms of residential development. Where the street design and / or lot configuration can allow for a different use, those sites may transition from a residential use to a commercial or business use over time. In planned areas, business and commercial uses shall be integrated with the neighbourhood to provide local services within a walkable distance of 400m.

Form of Development: All development, regardless of use, shall have a residential form and character to integrate with the neighbourhood and limit potential incompatibilities. Single detached dwellings with front attached garages are the predominant building form.

3.3.5 Residential Density

a)Minimum i. For built up areas: 1 dwelling unit(s) per lot

- For planned development: 35 units per net hectare or as per the applicable area structure plan, neighbourhood structure plan, or outline plan. Shadow plans of future phases of development shall be required to demonstrate how the minimum density is achieved.
- b)Maximum 2 dwelling units per lot or as per the applicable Area Structure Plan, Neighbourhood Structure Plan, or Outline Plan.

Note: prior to amendment: January 15,2025 1055-24

- a)Minimum i. For built up areas: 1 dwelling unit(s) per lot
 - For planned development: 35 units per net hectare or as per the applicable area structure plan, neighbourhood structure plan, or outline plan. Shadow plans of future phases of development shall be required to demonstrate how the minimum density is achieved.
- b)Maximum *No Maximum* per lot or as per the applicable Area Structure Plan, Neighbourhood Structure Plan, or Outline Plan.

PART 5: ADMINISTRATION INTERPRETATION

5.3.8 The Subdivision Authority may approve the application for subdivision even though the proposed subdivision does not comply with Our Zoning Blueprint if, at its sole discretion, the proposed subdivision would not unduly interfere with the amenities of the neighbourhood, or materially interfere with or affect the use, enjoyment or value of neighbouring parcels of land, and the proposed use is allowed in the applicable land use district,

- 5.4.4 The Development Authority:
- j) Shall not approve an application for a development permit that is not in conformity with the Municipality's Statutory Plans.

5.18 CONDITIONS OF A DEVELOPMENT PERMIT

5.18.1 The Development Authority may impose such conditions on the approval of an application as, in their opinion, are necessary to:

a) Uphold the intent and objectives of Our Complete Community under preparation or as adopted;

b) Uphold the intent and objectives of an area structure plan, neighbourhood structure plan, or area redevelopment plan under preparation or as adopted, that is applicable to the site;

c) Meet the applicable requirements of Our Zoning Blueprint and

d) — Ensure the orderly and economic development of land within the Municipality.

Terms of Reference for the Preparation and Amendment of Statutory and Non-Statutory Land Use Plans

August 27, 2020 Beaumont Planning and Development

2.0 Introduction

The City of Beaumont is committed to developing a vibrant, healthy, family-oriented community that welcomes diversity, nurtures business, promotes excellence and is environmentally conscious, while celebrating its Indigenous, agricultural and French heritage.

Statutory plans allow municipal councils to establish general development policies for all or part of the municipality. The Municipal Government Act defines statutory plans as an intermunicipal development plan, a municipal development plan, an area structure plan and an area redevelopment plan adopted by a municipality under Division 4 (Section 616 (dd)). These plans serve the following purposes:

1. Intermunicipal Development Plan - Two or more municipalities may adopt an intermunicipal development plan in respect of land where a consensus on future land use and development is desired. Such a plan typically relates to the fringe area of urban and rural municipalities or to share natural features such as lakes.

2. Municipal Development Plan - A municipal development plan establishes policies for land use in the entire municipality. All municipalities in Alberta must adopt a municipal development plan.

3. Area Structure Plan - Municipalities may adopt area structure plans to establish the general land use, transportation, and servicing framework for specific areas undergoing substantial new development, usually in greenfield areas.

4. Area Redevelopment Plan - Municipalities may adopt area redevelopment plans to outline proposals for addressing planning issues when rejuvenating existing developed areas.

In addition to these statutory plans, municipalities may also adopt non-statutory plans to guide future planning and development in certain areas. There are different names and functions to these plans. In the City of Beaumont, the most common types of non-statutory land use plans are:

1. Neighbourhood Structure Plan – the City of Beaumont adopts neighbourhood structure plans to provide a more detailed planning/land use and servicing framework for a specific area within an area structure plan. These plans must comply with the higher order area structure plan.

2. Outline Plan – in the past, the City of Beaumont adopted outline plans to provide land use and servicing frameworksfor future subdivision and development within neighbourhoods. These frameworks were consistent with the City's Municipal Development Plan land use policies as well as other relevant municipal policies and plans at the time of adoption.

Our Complete Community - Municipal Development Plan provides policy direction on the future development of statutory and non-statutory plans. This direction includes:

4.2.1 Area Structure Plans shall be prepared for the development of all Future Residential, Commercial, Business Park, and Light Industrial areas. Neighbourhood Structure Plans may be required to support Area Structure Plans for development areas larger than 64 hectares (one quarter section).

4.2.2 New Neighbourhood Structure Plans will not be permitted without an approved Area Structure Plan in place.

4.2.3 No new Outline Plans will be permitted.

4.2.6 An Area Redevelopment Plan may be required prior to changes in built-up urban areas, at the discretion of the development authority

3.0 Authority and Policy Alignment

All statutory and non-statutory plans in Beaumont must be compliant and consistent with the following legislations, plans and policies. Should the proposed plan not meet statutory plan or local plan policies, the applicant must identify the differences and possible solutions, which may include additional statutory or non-statutory plan amendments, where applicable.

4.4 Closure of Inactive Application

If there has been no progress on an application for at least six (6) months due to the inactivity of the applicant, Planning and Development may send a file closure letter to the applicant advising that an application will be closed. Prior to sending such a letter, Planning and Development will contact the applicant regarding the lack of progress via written or e-mail correspondence. Inactivity that is due to the approval timelines for higher order plan amendments that are required to align with the proposed plan (e.g., an amendment to the Municipal Development Plan to align with land uses in a proposed area structure plan) does not count towards the six-month timeline. An applicant or owner who wishes to reactivate a file for which a file closure letter has been executed must submit a new application. The new application must include:

• An updated statutory plan document;

- Any updated supporting documents; and
- The application forms and fees in effect at the time of the reactivation.

A new Public Engagement Plan or an additional meeting may also be required, at the discretion of Planning and Development.

5.8 Land Use Concept

This section describes the future land uses and development concept proposed for the area, either generally or with respect to specific parts of the area. The content should include, but is not limited to, the following matters:

a) General layout of future land uses1;

b) General layout of major (arterial and collector) roadways based on municipal design and construction standards;

c) Applicable neighbourhood boundaries;

- d) Distribution of ecological features;
- e) Historic resources;
- f) Urban design areas/districts;

g) Stormwater management facilities;

h) Multi-use trails and pedestrian connections; Park and ride and regional bus routes and potential future local transit routes, if applicable;

i) A summary of the Fiscal Impact Analysis, if applicable; and

j) A map showing the land use concept and identifying the features described. The map should include the following qualification: This map is intended to be conceptual. The exact location and alignment of land uses, major facilities, roadways, and services will be determined at the redistricting and subdivision stage.

k) A table summarizing the land use concept and population statistics for the plan area including:

• Calculations of gross area, Environmental Reserve, existing land uses, gross developable area, total non-residential area, and net residential area;

• Calculation of Municipal Reserve and resultant balance by sub-area (i.e. neighbourhood) and for the entire plan area;

 Calculation of planned dwelling units per net residential hectare for each residential land use and the residential density for the total plan area;

• Disposition of any arterial roadway right of way or Beaumont-owned land in the area;

• Major land use classifications with approximate area dedicated to each land use type as per development concept;

- A summary of natural areas protected, conserved, and lost; and
- Anticipated student generation, to be confirmed by school boards for each school system, by s school type for each neighbourhood and the total plan area.

5.9 Policy

This section describes how each applicable land use, transportation, and servicing component of the concept will support the plan's goals and objectives. For each component, the plan objectives, policies, and implementation method must be stated as described below. All maps will be considered to be conceptual in nature, as the exact location and alignment of land uses, major facilities, roadways, and services will be determined at the redistricting and subdivision stage. It is recommended that maps include a statement to this effect.

Summary

 a) Statement of specific land use objective(s) in support of the area structure plan development concept; b) Statement of specific land use policy strategies required to support higher order strategic policies/plans (i.e. municipal development plan) including the Edmonton Metropolitan Region Growth Plan land use policies and principles;

c) Summary of the policy rationale for each land use, transportation, and servicing component and any necessary technical study and or information required to inform subdivision and development; and

d) Statement of how land use policy strategies will be implemented within the plan including:

- Manner in which existing uses will be incorporated, conserved, or removed as development occurs;
- Key land use policies to be addressed and approvals required at subsequent planning stages (e.g. Land Use Bylaw) to implement the development concept;
- General direction and timing of interim and long-range development as it relates to the sequence or phasing of development;

• Identification of any problems anticipated in the orderly staging of development or off-site development impacts generated (e.g. additional funding requirements or costs to Beaumont, downstream servicing impacts, traffic) and solutions presented at the time of area structure plan submission to Planning and Development; and

 Identification and or assignment of any particular stakeholder roles, responsibilities or actions as necessary

Residential

a) Location and pattern of residential development;

b) Community density and scale that supports mixed land uses, services, amenities, transit, and pedestrian and multi-use trail connectivity, and that aligns with regional Growth Plan targets;

c) Description of innovative or unique residential development forms contemplated within the plan area;

<mark>d) Principles to be applied</mark> at the subdivision stage for the distribution, compatibility, and integration of a mix of residential uses;

e) Principles to be applied at the subdivision stage to ensure the provision of a range of housing forms for a variety of income levels and household types, including principles for the provision of affordable housing, in accordance with applicable Council-approved objectives or policies.

<mark>Mixed Use</mark>

a) Location, size, and distribution of mixed use development within the plan area; and

b) Justification of mixed use development within the area structure plan on the basis of population to be served, size of the area, and appropriate policies.

7.0 Non-Statutory Plans and Amendments

There are two types of non-statutory land use plans in the City of Beaumont. These are outline plans and neighbourhood structure plans. In the past, the City of Beaumont adopted outline plans to provide land use and servicing frameworksfor future subdivision and development within neighbourhoods. However, Our Complete Community does not allow the City to adopt new outline plans in the future. As a result of this policy change, only amendments will be accepted for existing outline plans in effect. Neighbourhood structure plans provide a more detailed planning/land use and servicing framework for a specific area within an area structure plan. The neighbourhood structure plan provides the link between the conceptual framework of the area structure plan and the detailed future design and layout of subdivisions in the neighbourhood.

The process of adopting neighbourhood structure plans and amendmentsis largely the same as adopting a statutory plan through a bylaw, except that the public hearing held prior to adopting the plan or amendment is a non-statutory one. A non-statutory public hearing functions the same way as any other public hearing, the only difference is that it is not a requirement in accordance with the Municipal Government Act. In addition, the process of adopting an outline plan amendment is through a resolution, rather than by bylaw, after a non-statutory public hearing. This means that formal first, second and third readings are not required, and instead Council may render a decision through a single vote

Why is the density of the site not the same as shown in the Dansereau Meadows Outline Plan?

Alberta's Municipal Government Act requires that a framework for subdivision and development describe the density of population proposed for the area either generally, or with respect to specific parts of the area.

Density and population statistics shown in outline plans are estimates **used** for the planning of services and infrastructure, such as calculating the student population to plan for future schools, or anticipated traffic volumes to help determine the transportation requirements. The density described is a minimum threshold, rather than a maximum.

The Dansereau Meadows Outline Plan estimates a density of 40 units per hectare and a corresponding population of 36 residents for the mixed-use area. As this is the minimum, the Dansereau Landing project is considered to meet the development requirements.

What happened to previous projects proposed for the site?

Dansereau **Landing** covers two parcels and this is the first permit for a project on both parcels. Previous permits have been for half the site under different ownership groups.

- A permit was first issued for 6202 65 Street to Caliber Master Builder on June 25, 2019 for a three-storey mixed-**use** development with ground floor commercial and 12 dwelling units on the upper floors.
- 6302 65 Street first received a permit in 2023 for a three-storey mixeduse development with six two-storey residential units and main floor commercial, including a daycare. This developer was the same as the current proponent.

None of these projects proceeded and their permits expired.

On April 12, 2024, the City received a new permit application for a single four-storey building on both lots, starting a new process.

Why weren't residents notified of the change from the previous projects and the details of the new development?

Construction never started on the previous projects and those permit expired.

At the time the permit for Dansereau **Landing** was issued on October 10, 2024, the project met all the requirements for permitted uses as required for an Integrated Neighbourhood District in the Land Use Bylaw. Permitted uses do not require public notification.

Public notification is required when the proposed development is a discretionary **use** (meaning approval is subject to the discretion of the City of Beaumont) or if the applicant's proposal varies from what is allowed in the **Land Use Bylaw**.

Council is also considering proposed changes to the notification process in the **Land Use Bylaw**, including requiring signage at the site of larger developments.

Why isn't the public allowed to provide input on projects like this?

Comprehensive public consultation took place when the **Land Use Bylaw** that governs development in Beaumont was developed and approved by Council in 2019. There were also opportunities for the public to provide input for the Dansereau Meadows Outline Plan that set the general layout, density, and types of land uses for the neighbourhood and was approved in 2017. Both the **bylaw** and the plan were also subject to public hearings held by Council.

Who approved the project?

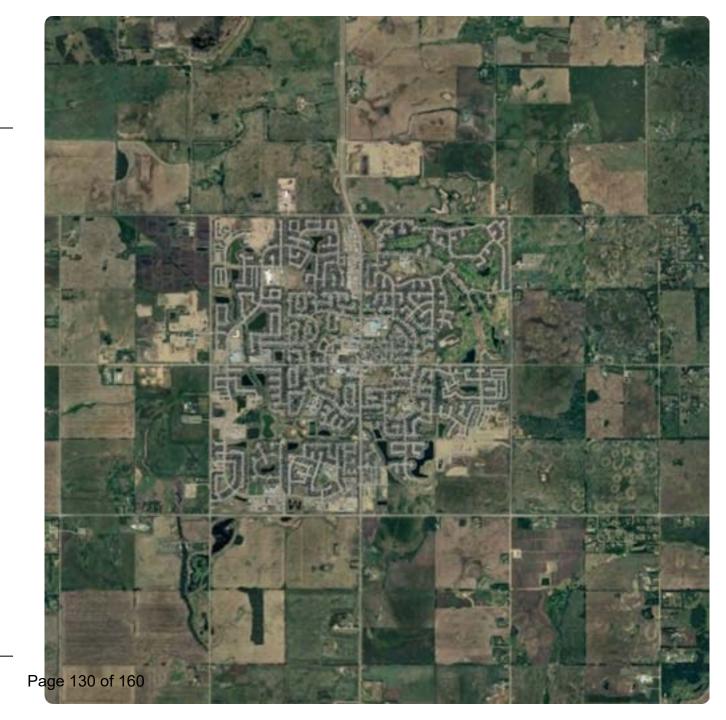
The project was approved by the City of Beaumont. Council does not approve individual development applications. Rather, their role is to set requirements in the **Land Use Bylaw**, Area Structure Plans, and other documents **used** to review and approve development applications.



City of Beaumont SDAB Hearing

SDAB-25-03

180 Dansereau Way Mixed Use



May 12, 2025

Jurisdiction to Hear Appeal



Jurisdiction to Hear Appeal

- Appeal was filed outside the appeal period (194 days following notice of decision issued)
- Development Permit was issued for a PERMITTED USE, NO VARIANCES
- MGA States
 - (3) Despite subsections (1) and (2), no appeal lies in respect of the Issuance of a development permit for a permitted use unless the
 - Provisions of the land use bylaw were relaxed, varied or
 - misinterpreted or the application for the development permit was deemed to be refused under section 683.1(8).
- Development and industry confidence / certainty

Appeals

686(1) A development appeal is commenced by filing a notice of the appeal, containing reasons, with the board hearing the appeal

- (a) in the case of an appeal made by a person referred to in section 685(1)
 - (i) with respect to an application for a development permit,
 - (A) within 21 days after the date on which the written decision is given under section 642, or

(Municipal Government Act, MGA)

Development permit

Type of decision	Who can appeal	Appeal deadlines
Approval	Persons considered *affected by the development.	21 calendar days after the date the notice is given under the Land Use Bylaw.
Conditions of Approval	The applicant for the development permit and persons considered "affected by the development.	For applicants: 21 calendar days after the date the applicant was given the written decision. For persons considered *affected by the development: 21 calendar days after the date the notice is given under the Land Use Bylaw.
Refusal	The applicant for the development permit.	21 calendar days after the date the applicant was given the written decision.
Deemed Refused	The applicant for the development permit.	If the Development Authority has not made a decision within 40 days after receipt of a complete application, 21 calendar days after the expiry of the 40 day period or the expiry of any extension agreement.

Jurisdiction to Hear Appeal

- The land use bylaw (LUB) delegates the CAO (and any designate) as the development authority
- Public Hearing is not required for issuance of development permits
 - Required for LUB amendments (rezonings and text amendments), direct control zones, plan adoptions and amendments
- Notification of development decision was posted on City of Beaumont website
- Terms of Reference for Statutory and Non-statutory Land Use Plans, not applicable

The Municipality's Chief Administrative Officer is the Development Authority, with powers and duties as set out in Our Zoning Blueprint and may delegate in writing any or all of these powers and duties specified to a designated officer or employee of the Municipality. (5.4.1)

The Development Authority shall administer and enforce Our Zoning Blueprint and decide upon all development permit applications, except those in direct control districts where Council is identified as the Development Authority (5.4.3)

Shall approve all development permit applications for a "permitted use" with or without conditions, if the application conforms in all respects to the provisions of Our Zoning Blueprint (5.4.4.(g))

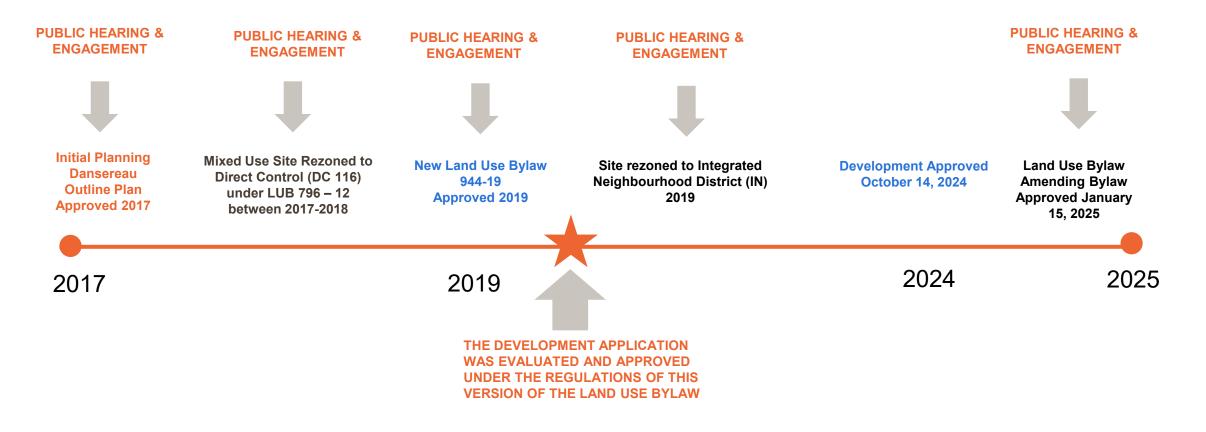
Development and subdivision appeals shall be in accordance with the Municipal Government Act (5.7.1)

City of Beaumont Land Use Bylaw, 944-19

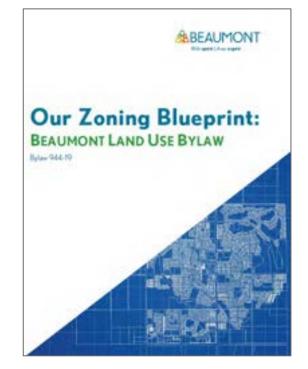
Development Overview



Evolution of the Land Use Bylaw

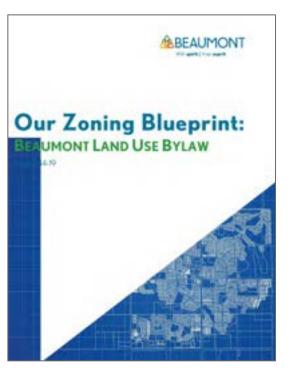






THE DEVELOPMENT APPLICATION WAS EVALUATED AND APPROVED UNDER THE REGULATIONS OF THIS VERSION OF THE LAND USE BYLAW

LAND USE BYLAW 944-19 IN EFFECT JANUARY 15, 2025 (DATE OF APPROVAL OF CITY LED LUB AMENDMENTS BYLAW 1055-24)



BYLAW 1055-24 AMENDING BYLAW INCLUDED THE FOLLOWING CHANGES:

- MINIMUM PARKING REQUIREMENTS INCREASED
 TO 1 STALL PER DWELLING UNIT
- LIMITING SECONDARY SUITES
- NEW RULES FOR SINGLE SIDE YARDS
- PAIRED DRIVEWAYS

Changes to Parking Requirement

LUB BYLAW 944-19 IN EFFECT OCTOBER 10, 2024 (DATE OF APPROVAL OF DEVELOPMENT)

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PART 3. LAND USE DISTRICTS

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Project Background

- Location: Project located at 180 Dansereau Way (previously 6202 and 6302 65 Street)
- Legal Description: Plan 242 2259 Block 25 Lot 201A
- Dansereau Meadows Neighbourhood

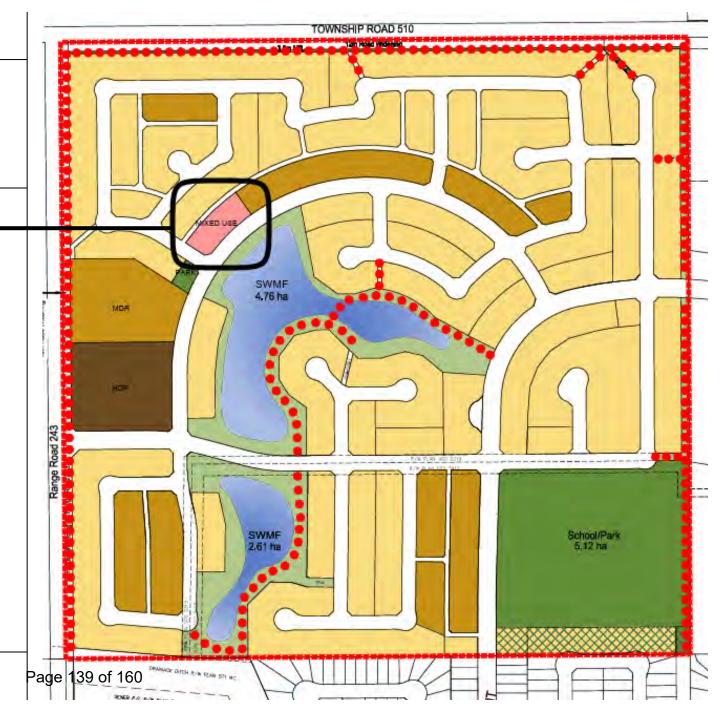


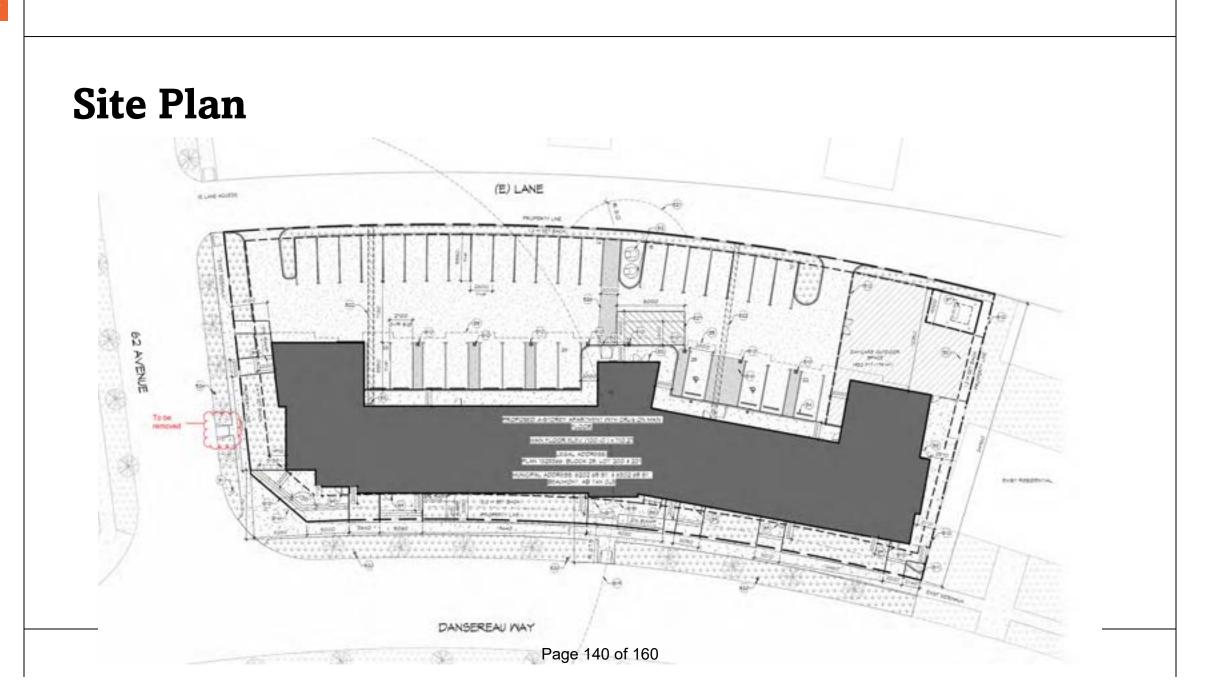
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Project Background

Dansereau Meadows Outline Plan (approved 2017)

- Designation: Mixed-use
- "low-rise buildings with small-scale ground floor commercial and service uses and upper storey apartments."
- Municipal Development Plan
 - Encourages mixed use developments with housing, commercial, office, etc. (4.5)
- Zoning
 - Integrated Neighbourhood District (IN)
 - Supports a variety of housing options for residents with walkable access to local commercial amenities and businesses in the community.
- Approved Development
 - Four storey, mixed-use building
 - 54 dwelling units (second to fourth floors)
 - Three commercial units on ground floor





Development Intent

- March 2024: Pre-application with the City
- April 12, 2024: Development application for submitted to the City of Beaumont
- May 6, 2024: City of Beaumont determines the application complete (all necessary information had been submitted)
- October 10, 2024: City of Beaumont issued a development permit (2024-037) for the development which was a permitted use, with no request for a variance under Bylaw 944-19. As per the MGA, permitted Uses may not be appealed unless the provisions of the Land Use Bylaw were relaxed, varied, or misinterpreted.
- In accordance with the City's procedures, the approved development decisions was posted on the City's website

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BEAUMONT Recreation & Activities Programs & Services Home & Neighbourhood Business & Economy Projects & Plans Government

PROJECTS & PLANE > DEVELOPMENT PROPOSAL DECESIONS

Development Proposal Decisions

View information on all recently approved or denied commercial, industrial, and multi-family development proposals in Beaumont.

2025

- 6206 29 Avenue Development Notice of Decision and Approved Drawings [pdf]
- 5006 S0 Avenue Notice of Decision and Approval Temporary Development (pdf)
- 4701. 4703 32 Avenue Notice of Decision and Approved Drawings [pdf]

2024

- 7001 49 Street Le Reve Single Storey CRU (2024-050) Notice of Decision and Approved Drawinos [pdf]
- 7003 49 Street Le Reve Two Storey Commercial = Human Services (2024-051) Notice of Decision and Approved Drawings [pdf]
- 4701 32 Avenue Notice of Decision and Approval Could 1
- 6202-6302 65 Street (Mixed Use) Notice of
- Decision (pdf) SEE: Eremiently asked questions
- Temporary Development West Rec Site NE- 28-50 [pdf]
- Esprit, 5010 50 Avenue (Mixed Use) Notice of Decision and Approved Drawings [pdf]
- 4901 30 Avenue Notice of Decision and Approved Drawings - Amended (pdf)
- 104, 2305 50 Street 2023-325 Notice of Decision

Screenshot, Development Proposal Decisions webpage, City of Beaumont website

Page https://www.beaumont.ab.ca/projects-plans/development-proposals/

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available (due to size or age)

available here? Files not

2023

- 4901 10 Avenue (Gas Bar) 2022-279 Notice of Decision and Approved Drawings [pdf]
- 4901 30 Avenue Notice of Decision and Approved Drawings (pdf)
- · 4900 70 Avenue 2022-599 Notice of Decision and Approved Drawings [pdf]
- #900 70 Avenue 2022-737 Notice of Decision and Approved Drawinds [pdf]
- 4900 70 Avenue 2022-739 Notice of Decision and Approved Drawings [file too large for web]
- + 5007 50 Street (Mixed Use) Notice of Decision and Approved Drawings [pdf]
- #203 54 Street 2023-271 Notice of Decision and Approved Drawings [pdf]

Development Timeline

- October 10, 2024: City of Beaumont issued a development permit (2024-037) for the development which was a permitted use, with no request for a variance under Bylaw 944-19. As per the MGA, permitted Uses may not be appealed unless the provisions of the Land Use Bylaw were relaxed, varied, or misinterpreted.
- October 31, 2024: 21 Day Appeal Period Ends

- January 28, 2025: Digging begins
- February 5, 2025: Marketing signage set up
- February 10, 2025: Foundation work begins
- April 22, 2025: Appeal received

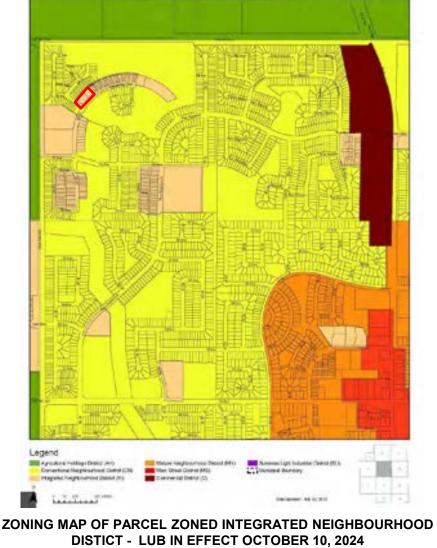
194 days since development decision

Compliance with Land Use Bylaw

- The development permit was granted in alignment with the Integrated Neighbourhood District in the land use bylaw as a **permitted use**.
 - A permitted use is one that meets all the requirements specified within the land use bylaw.
- Development exceeds parking requirements by 65%: required 20 stalls, 33 stalls are being provided.
- Development meets requirements within City of Beaumont Urban Design Guidelines.
- No variances were requested or granted as part of the development.

- Traffic impact assessment completed as part of development of the outline plan in 2017 and an additional review was complete in 2024.
 - Dansereau Way capacity: 5,000 vehicles / day
 - Projected traffic once the area is fully developed: 1,500 vehicles / day

	Land Use Bylaw 944-19 IN District (October 10, 2024)	Approved Development (October 10, 2024)		Beaumont La	na Use Distr
Lot Coverage	Max 55%	32%	✓	1 Star	1.0
Uses	 Permitted Uses: Dwelling Unit, Retail & Service – General, Education 	 Approved Permitted Uses: Dwelling Unit (residential floors), Education Use (Daycare) 	~		
Parking	 Residential Uses – 1 Stall per unit over 75m² Commercial – 1 Stall per 100m² of lot coverage Institutional Uses – 2 Stalls per 100m² lot coverage 	20 Parking Stalls Required 33 Stalls Provided	~		
Beaumont Urban Design Guidelines	If minimum required elements not met, application is referred to BUDG committee	Met minimum required 75% Essential Elements and 25% Suggested Elements	√	Legend Arristical Trading-Oneic (Arr) Convertined Trading-Oneic	The State of
	opment complied with all other regula required, and the DP was issued for		ZON	IING MAP OF PARCEL ZON DISTICT - LUB IN E	



Alignment with Statutory and Higher Order Plans

Page 145 of 160

• EMRB Growth Plan:

- Meet higher residential density through compact and contiguous growth
- Supporting the development of complete communities through mix of uses

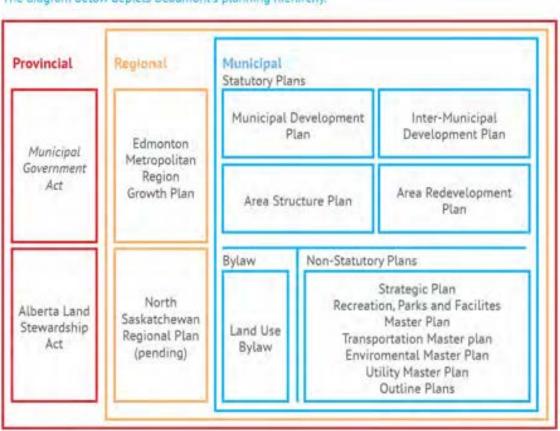
• MDP:

 Section 4.12 Community Commercial / Employment Centre Policies

"Typical land uses include a mix of retail, offices, and institutional uses and may also include multi-unit residential developments as standalone developments or integrated into the upper storeys of commercial or office buildings."

Dansereau Meadows Outline Plan:

- Mixed use is to be developed in low-rise buildings with smallscale ground floor commercial and service uses and upper storey *apartments*.
- Mixed use is identified in a location where a rear lane can be provided, ensuring an adequate supply of on-street parking for this higher-intensity land use. The mixed use area is also identified adjacent to a park enhancing the public use of these amenity areas



(Beaumont Planning Hierarchy, Beaumont Municipal Development Plan)

· Land use statistics are estimates and are a minimum

The diagram below depicts Beaumont's planning hierarchy.

MGA – Appeal Grounds

Section 685 (1) - Grounds for an appeal

If a development authority

- (a) fails or refuses to issue a development permit to a person,
- (b) issues a development permit subject to conditions, or
- (c) issues an order under section 645, (stop work order)

the person applying for the permit or affected by the order under section 645 may appeal the decision in accordance with subsection (2.1).

Development permit

Type of decision	Who can appeal	Appeal deadlines
Approval	Persons considered *affected by the development.	21 calendar days after the date the notice is given under the Land Use Bylaw.
Conditions of Approval	The applicant for the development permit and persons considered *affected by the development.	For applicants: 21 calendar days after the date the applicant was given the written decision. For persons considered *affected by the development: 21 calendar days after the date the notice is given under the Land Use Bylaw.
Refusal	The applicant for the development permit.	21 calendar days after the date the applicant was given the written decision.
Deemed Refused	The applicant for the development permit.	If the Development Authority has not made a decision within 40 days after receipt of a complete application, 21 calendar days after the expiry of the 40 day period or the expiry of any extension agreement.

* The term affected person is not defined in the Municipal Government Act. The Board determines affected persons on a case-by-case basis. For example, an affected person could be someone who feels the enjoyment, use or value of their property may be affected by the proposed development. The onus is on the person to show they are affected by the development.

MGA – Appeal Timeframes

Section 686(1) of the MGA

- Outlines the timeframes for an appeal of a decision rendered on a development permit
- A development appeal is commenced by filing a notice of appeal with, containing reasons, with respect to a development permit within 21 days after the date on which the written decision is given
- Written decision of the development permit was provided on
 October 10, 2024
- 21 days after written notice: October 31, 2024
- Appeal received: April 22, 2025

Appeals

686(1) A development appeal is commenced by filing a notice of the appeal, containing reasons, with the board hearing the appeal

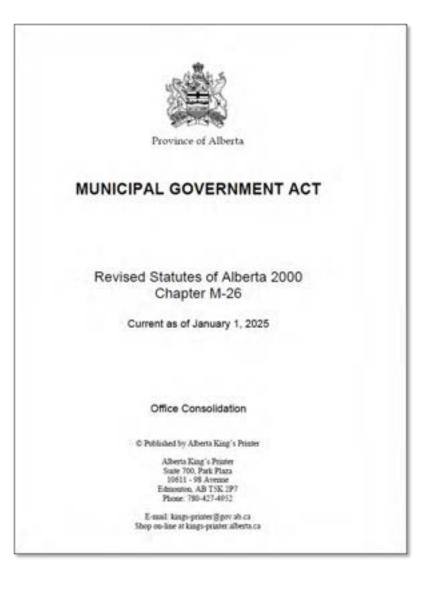
- (a) in the case of an appeal made by a person referred to in section 685(1)
 - (i) with respect to an application for a development permit,
 - (A) within 21 days after the date on which the written decision is given under section 642, or

(Municipal Government Act, MGA)

MGA – Development Rights

Section 643(1)

If a development permit has been issued on or before the day on which a land use bylaw or a land use amendment bylaw comes into force in a municipality and the bylaw would make the development in respect of which the permit was issued a nonconforming use or non-conforming building, the development permit continues in effect in spite of the coming into force of the bylaw.





Thank you

Beaumont Subdivision and Development Appeal Board

May 6, 2025

To Whom It May Concern,

I live at **Example** Street in Beaumont, directly behind the new building under construction on Dansereau Way. I am the owner of this property.

The Beaumont Planning Department has confirmed that the Dansereau Way development is going to be a 4-storey, 54 unit apartment building with parking spaces for 22 cars; in addition there will be daycare and some other businesses in the facility.

I am very concerned about what has been allowed to happen in Dansereau Meadows in general and on 66th Street in particular with regard to development and parking.

I own and live in a home here and was assured when I purchased in 2021 that the neighbouring homes were not going to be multi-unit buildings with above-garage suites. Now I live in a single family dwelling with four out of five multi-unit dwellings with above-garage suites to the south of me and by summer there will be another four multi-unit buildings with above-garage suites to the north of me.

There is already not enough parking for the number of people living in this block before the construction of the last three houses is even complete. In the house next door to me to the south there have been 8 cars belonging to tenants and frequent overnight visitors and only 1-2 parking spots available in the garage, depending on whether the garage suite tenant parks behind the garage. This will mean a potential of an additional 32 vehicles on these four properties alone.

Before construction began on the Dansereau Way development, many tenants and possibly homeowners were parking in the vacant lot behind the garages. Now that construction has begun, these people have been forced to park on 66th Street and probably some park on Dansereau Way already. Some tenants have been parking illegally on the street at dangerous angles in order to be able to park near their rental units. Parking spots are also very tight and people park close to corners, making visibility poor for both traffic and pedestrians.

The alley between 66th Street and Dansereau Way is already a high-traffic laneway, due to the 2-car garages for each home on both sides. The laneway is narrow and it is difficult to see oncoming vehicles till the person backing out is most of the way out of the garage. Exiting the alley onto 62nd Avenue is also difficult due to parked vehicles which make visibility poor.

In addition, Dansereau Way between 60th Avenue and 62nd Avenue is already tight with vehicles parked on both sides, and it is narrower in winter with snowbanks on either side. There is no room for parking from the development to spread along this block.

I am concerned about where the occupants for the new apartment building and the businesses including the day care. How does the Planning Department conceive that all this additional traffic and parking will be managed? How will traffic from parents stopping to drop off and pick up their children not contribute to an already busy area? How will customers accessing whatever business is located in the building find a place for their vehicles while doing business.

Recently a neighbour who had contacted the bylaw office about poor and dangerous parking informed me that she had been told to discuss the situation herself with the person repeatedly blocking her driveway. This is not a solution.

In addition to the parking, I am very unhappy at the loss of sky view and privacy for my lot. With a chain of garage suites and 2-storey homes on both sides of my property, I have multiple windows looking into my backyard. Now a 4-storey building to the back will decrease the amount of sky visible to me and increase the number of windows overlooking my private space.

I had my yard beautifully landscaped for my outdoor enjoyment with plans to make my house and yard in Beaumont my retirement home. Now I am the sole live-in homeowner among a long line of rental properties jammed with occupants who require parking. To say that I am disappointed is an understatement. To say that I am horrified by the development rising above my property directly behind me is accurate.

My property value dropped this year and I suspect it is due to the excess development on my street and in this area. Had I known that this was coming I would not have purchased a home here. I am very disappointed and am considering selling and moving away from this area.

Since construction has not stopped while this appeal is underway, I am not certain about what can be done. Is it possible to reduce the number of storeys in this development?

My further issue is this: why was this development allowed to proceed in the first place, without adequate consultation of the property owners in Dansereau Meadows? This is a travesty.

Thank you for your attention to this matter.

Sincerely,

Barbara Wieler, Retired RN, BA, MEd

Dear Subdivision and Development Appeal Board,

I am writing to you today to express my concerns about the mixed-use building that is currently under construction across from our home at avenue in Beaumont.

I have been a Beaumont resident my whole life; precisely 31 years. I grew up attending school here, have family here, am a teacher in the Black Gold School Division and four years ago, my husband and I chose this town (now city) as our forever home. This is a place where we see ourselves planting roots and raising children in the future. When we chose to purchase our home, we were aware that the lot across from us was zoned for multi-use. We aren't opposed to this, however, we were under the impression that the unit that was being built would be a reasonable size for the location and proximity to other housing. We also really thought that when the time came, that the city would at least notify us of their plans so that we would have some say in what that looked like, as we are in such proximity to this building.

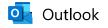
I appreciate that council frequently reaches out for feedback, often in the form of surveys via social media. I strongly believe that it is hard to complain or seek changes if you don't personally put in the effort to be involved. Thus, I have voted in every election here since turning the age of eighteen and have filled out many surveys regarding traffic issues, icy roads, community spaces, ect. The reason I do so is because it is important to be involved in your community, but also these surveys are very visible, transparent and advertised by the city. If the city values feedback regarding these types of issues, I am deeply disheartened as to why we were not consulted or notified of development directly across from us? In not doing so, I really feel as though revenue was the priority and that the city was not being transparent with the residents of this neighbourhood. We have received notifications about other developments in the area for things that do not directly affect us? It seems as though the only way that we would have known that this was going ahead was to be checking the town website everyday, which to me, seems rather calculated and unethical.

Which brings me to what I would like you to consider regarding this development. My main concern with this mixed-use building is the lack of parking that is available for these units. Our street is narrow. I already have a tough time backing out of my driveway safely as there is traffic that comes from the back alley of the detached homes, people turning left onto our avenue and right off of 66 street. Most days, residents of our neighbourhood are parked on the street adjacent to our house as well, and when there are garbage cans out for pick up, massive snow piles since there is no room to put the snow on our street, and all this traffic, it is already very congested. I am concerned that street parking is going to be a massive issue and cause unsafe congestion. In addition, our home backs onto the Dansereau Townhomes and down the street are the Dansereau apartments. These complexes actually have adequate parking, but there are still many vehicles that are being parked on the street from residents of these complexes. If this is the case, I do not see how the new unit, which does not have adequate parking, would not cause an absurd amount of congestion. Please explain to me where these people will be parking on days where it is garbage pick up, or days where there are parking bans? The parking issues need to be addressed and solutions need to be found before this project is able to continue. I think a healthy compromise would be to scale back the build and return it to what was originally proposed; six or so units with adequate parking.

While I do understand that this project is and has been underway for sometime, there needs to be some kind of change that happens to ensure that residents of our community feel understood and considered. I

urge you to please address my concerns, as well as the concerns of various other homeowners in this neighbourhood and halt construction until a compromise can be reached.

Courtney Mathieu-Coutney



Appeal # SDAB-25-03

From juan garcia

Date Tue 5/6/2025 6:05 PM

To Legislative <Legislative@beaumont.ab.ca>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Re: Appeal # SDAB-25-03 Legal Description: Plan 242 2259 Block 25 Lot 201A Municipal Address: 180 Dansereau Way, Beaumont Alberta Land Use District: Integrated Neighbourhood Permit Applicant No: 2024-037

Dear Subdivision and Development Appeal Board

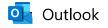
I am writing as a concerned resident in Dansereau Meadows to express my strong opposition to the proposed 4-story building with 54 apartment/condo units, 3 commercial spaces and only 20 parking stalls for Plan 242 2259 Block 25 Lot 201A with permit 2024-037.

A small project with few townhomes and commercial units was advertised; however, the large project being developed with a 4-story building and few parking stalls was never advertised, and none of the residents were asked or notified in our community to see if we agreed with such a project. This project presents several concerns because there are projected 54 apartments with only 33 stalls in such a small area, so the rest of the cars will be parked outside causing visibility problems to traffic. Besides most families have 2 or even 3 cars which denotes a lack of planning and the streets around will be used as parking causing visibility problems. Moreover, the advertised daycare will increase the traffic especially during peak hours. All these can potentially lead to car accidents due to the lack of visibility, and increase the possibility that kids or pedestrians will be hit by cars when trying to cross the roads. We want to be safe in our own neighbourhood and not have life threatening adventures every time our families and/or kids adventure to go outside. Finally the negative economic impact that this will bring to our community, because this big building in such a small area will cause a decrease in price to the houses due to the chaos, insecurity and lack of beauty that this structure will bring to our neighbourhood. Some residents, including me, would have not bought houses in the neighbourhood if this had been advertised from the beginning. There are so many other undeveloped places in Beaumont where this can be well planned in advance without having any impact in the community.

Thank you for your time and attention specially because our voices matter, and together, we can make a difference and make Beaumont a better and beautiful place.

Sincerely, Juan C. G. Rojas

Avenue Beaumont, Alberta T4X



Appeal # SDAB-25-03

From Olga Navarro

Date Tue 5/6/2025 6:04 PM

To Legislative <Legislative@beaumont.ab.ca>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Re: Appeal # SDAB-25-03 Legal Description: Plan 242 2259 Block 25 Lot 201A Municipal Address: 180 Dansereau Way, Beaumont Alberta Land Use District: Integrated Neighbourhood Permit Applicant No: 2024-037

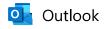
Dear Subdivision and Development Appeal Board

I am writing as a concerned resident in Dansereau Meadows to express my strong opposition to the proposed 4-story building with 54 apartment/condo units, 3 commercial spaces and only 20 parking stalls for Plan 242 2259 Block 25 Lot 201A with permit 2024-037.

A small project with few townhomes and commercial units was advertised; however, the large project being developed with a 4-story building and few parking stalls was never advertised, and none of the residents were asked or notified in our community to see if we agreed with such a project. This project presents several concerns because there are projected 54 apartments with only 33 stalls in such a small area, so the rest of the cars will be parked outside causing visibility problems to traffic. Besides most families have 2 or even 3 cars which denotes a lack of planning and the streets around will be used as parking causing visibility problems. Moreover, the advertised daycare will increase the traffic especially during peak hours. All these can potentially lead to car accidents due to the lack of visibility, and increase the possibility that kids or pedestrians will be hit by cars when trying to cross the roads. We want to be safe in our own neighbourhood and not have life threatening adventures every time our families and/or kids adventure to go outside. Finally the negative economic impact that this will bring to our community, because this big building in such a small area will cause a decrease in price to the houses due to the chaos, insecurity and lack of beauty that this structure will bring to our neighbourhood. Some residents, including me, would have not bought houses in the neighbourhood if this had been advertised from the beginning. There are so many other undeveloped places in Beaumont where this can be well planned in advance without having any impact in the community.

Thank you for your time and attention specially because our voices matter, and together, we can make a difference and make Beaumont a better and beautiful place.

Sincerely, Olga D. P. Montoya Avenue Beaumont, Alberta T4X



Appeal #SDAB-25-03

From Loraine Troppmann

Date Sat 5/3/2025 3:24 PM

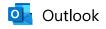
To Legislative <Legislative@beaumont.ab.ca>

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I am totally against the proposal of this unit. It is too large for this neighborhood & possesses many disruption. The traffic will easily triple, the road system is already unsatisfactory, the safety of our children & residents in the area are already compromised. In the winter we already have issues with the road conditions let alone the increase in traffic. This is an eye sore to the neighbourhood & does not integrate with the residential housing market.

The property value of our homes have already declined & will keep declining because of this. The safety in the neighbourhood with that amount of people will be astronomical. High density more crime.

This is unacceptable & should be stopped immediately. thank you L. Troppmann



Development at 108 Dansereau Way

From Suzanne Morgan

Date Tue 5/6/2025 4:43 PM

To Legislative <Legislative@beaumont.ab.ca>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Good afternoon,

We own a home at **Example** treet in Beaumont. We are writing with regards to the mixed use building permit that was approved October 10/24 for the development of 108 Dansereau Way.

If I am understanding the permit and drawings correctly, it would appear that it has been approved to change the original plan for 12 residential units above a daycare to 54 units above a daycare. When reviewing the permit, it indicates that there will be a total of 33 parking spaces.

2 are designated as handicap spots

11 are designated for use by the daycare

20 would therefore be left for the 54 residences that are above the daycare

Simple math would tell me that this means that if all 54 residents of the building have cars, that there will be 34 cars (54-20) looking for parking on the street. If some of these residents have more than one car, the parking issue is going to be exponentially worse. For example, if all 54 residents have 2 cars, there will be an 88 car parking spot shortfall (54 x 2 = 108 cars - 20 designated parking spots = 88 cars looking for street parking). The development is next to some row houses and a large number of homes with the detached garages with suites above them. These existing units are already vying for the available street parking.

My concerns are as follows:

1. Where are all these cars supposed to park when street parking in this area is already limited?

2. Is there no concern for the safety of the children attending the daycare or for the children that live in the neighbourhood?

3. This area is currently only serviced by one road in (65 Street). It is essentially a dead end road. This is going to create a huge safety issue as people are going to be forced to figure out how to turn around to head out using the only road in.

4. Where are all the people who are forced to park on the street supposed to move their cars to on snow removal days and street cleaning days?

5. Why were the landowners affected by this HUGE change in the scope of the project not informed so that we could voice our concerns?

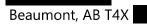
6. How does the City of Beaumont plan to compensate myself and my neighbours for the loss of safety, quality of life and property value?

7. I've been told by a city staff member that street parking is viewed as a traffic calming measure. As an avid cyclist, street parking is a catastrophic accident waiting to happen. People opening their car doors is a very real danger to cyclists.

I should also mention that I never received the notice of hearing letter that was supposedly sent out to landowners in the area. I found out about it from a Facebook.

Regards,

Andrew & Suzanne Morgan



Sent from my iPhone



