



**Subdivision Authority Decision
Wednesday, August 28, 2024 at 1:00pm**

1. The Subdivision Authority has reviewed the following proposed Subdivision on August 28, 2024:

a. SDA-24-07 Elan Phase 3C

Invistec Consulting on behalf of 1662825 Alberta Ltd. submitted a subdivision application to create 14 Single Detached Residential Lots

Subdivision Authority's Decision:

a. SDA-24-04 Eaglemont Lot Split (5411 64 St)

The Subdivision Authority Conditionally approved the submission of subdivision application to create 14 Single Detached Residential Lots

- *Attachments: Notice of Decision, Conditions of Approval Map, Advisement, Subdivision Plan, Subdivision Application*

Contact the File Planner at planning@beaumont.ab.ca for more information.

Notice of Decision

Date of Decision: August 28, 2024

Emma Zurzwell
Invistec Consulting Ltd.
Suite 1700, 10130 103 Street NW
Edmonton, AB T5J 3N9

Subdivision File Name: SDA-24-07 Elan Phase 3C
Legal Description: A portion of S.E. ¼ Sec. 33-50-24-W4M
Land Use District: Integrated Neighbourhood District (IN)
Proposed Subdivision: 14 Single Detached Lots

Pursuant to Section 654 of the MGA, the above-described Subdivision was **APPROVED** on August 28, 2024, subject to the following conditions:

1. That the subdivision be effected by plan of survey.
2. That the owner/developer pays their proportionate share of the Off-Site Levies pursuant to Bylaw 945-19 as may be amended from time to time.
3. That any outstanding taxes be paid or satisfactory arrangements be made with the City of Beaumont.
4. That all existing easements, caveats, and restrictive covenants registered to the subject property be carried over and registered on the newly created lots.
5. That easement documents required to service this parcel shall be submitted for concurrent registration at the Land Titles Office.
6. Restrictive Covenants will be registered on the lots that are required to install fencing in accordance with the City of Beaumont General Design Standards and to the satisfaction of the Municipality, as shown on the "Conditions of Approval" map, Attachment 1.
7. That the approved subdivision SDA-22-10 Elan Phase 2B shall be registered either prior to or concurrently with this subdivision to ensure logical roadway extensions.
8. That the owner/developer construct a second water feed connection for Elan servicing prior to the endorsement of the plan of subdivision, pursuant to the engineering drawings and to the satisfaction of the City.
9. That the owner/developer enter into and abide by a Development Agreement with the City of Beaumont pursuant to Section 655 of the Municipal Government Act (MGA) to address but are not limited to the following:
 - a. Construct roads, pedestrian walkway system, public utilities and to provide security for the proposed subdivision.
 - b. That the owner/developer pay all costs identified in the Development Agreement, including but not limited to, assessment and inspection costs occasioned by this subdivision prior to the endorsement of the plan of subdivision.
 - c. That the owner/developer pays their proportionate share of the Off-Site Levies pursuant to Bylaw 945-19 as may be amended from time to time.
 - d. That the owner/developer submit detailed engineering drawings in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City and affected utility agencies.
 - e. Restrictive Covenants will be registered on the lots that are required to install fencing in accordance with the City of Beaumont General Design Standards and to the satisfaction of the Municipality, as shown on the "Conditions of Approval" map, Attachment 1.

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Subdivision File: SDA-24-07

- f. That the owner/developer construct a second water feed connection for Elan servicing prior to the endorsement of the plan of subdivision, pursuant to the engineering drawings and to the satisfaction of the City. The city will allow for a maximum of 150 residential dwelling unit building permits to be accepted in all of Elan on the current single water feed.

The application complies with regulations set out in the Beaumont Land Use Bylaw 944-19 and is in alignment with the Elan Area Structure Plan and Elan Neighbourhood Structure Plan.

Deferred Reserve Caveat (DRC) #212 284 145 associated with SDA-19-01 addresses the Municipal Reserve (MR) for S.E. ¼ Sec. 33-50-24-4. DRC #212 284 145 will be applied to the remaining portion of the title.

This approval is valid for one year expiring on **August 28, 2025**. Pursuant to the Land Use Bylaw 944-19, any extensions of the subdivision approval may be authorized by the Subdivision Authority.

Attachment 1 is a map of the subdivision and the location of specific condition requirements. Attachment 2 is a list of advisements.

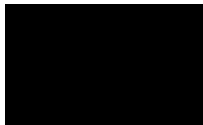
With regard to the conditions of approval, they are to be met and satisfied prior to the submission of the final plan of subdivision, which is to be prepared by an Alberta Land Surveyor. Once all conditions of approval have been complied with, the final plan of subdivision and endorsement plans/documents can be submitted. Please see our website for endorsement submission requirements at <https://www.beaumont.ab.ca/wp-content/uploads/2024/05/Endorsement-Application-Package.pdf>.

An endorsement fee will be required to be paid upon submission of the final plan. Endorsement fees are subject to change. If the fee schedule is amended before you submit the final plan of subdivision for endorsement, the new fees will apply.

Appeal Information

Please be advised that an appeal may be submitted in accordance with Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board within 14 days of the written decision. Please visit our website for more details at www.beaumont.ab.ca

If you have any further questions, please contact Aleshia Ingram at planning@beaumont.ab.ca or 780-340-0342.



Kendra Raymond, RPP, MCIP
Subdivision Authority

Encl:
Conditions of Approval Map

PLEASE NOTE THAT THIS OFFICE WILL NOT ENDORSE ANY DOCUMENTS OR PLANS UNTIL THE APPEAL PERIOD AS SET OUT IN THE MUNICIPAL GOVERNMENT ACT HAS EXPIRED. THE APPEAL PERIOD IS CALCULATED AS 14 DAYS FROM THE DATE OF THIS DECISION LETTER.



City of Beaumont
5600 - 49 Street
Beaumont, Alberta T4X 1A1
Phone: (780) 929-8782
Fax: (780) 929-3300
Email: planning@beaumont.ab.ca

Notice of Decision

Date of Decision: August 28, 2024

Subdivision File: SDA-24-07

Advisements
Application for Subdivision
Tentative Subdivision Plan Conditionally Approved by the Subdivision Authority

cc: 1662825 Alberta Ltd.



Step-Down Board Fence

Chain Link Fence

LEGEND:

- Elan Stage 3C Subdivision Boundary
- Elan Stage 1 & 2B & 3A & 3B Subdivision Boundary
- Zero Lot Line Location

NOTES:

- All distances are shown in metres and decimals thereof.
- Distances on the curved boundaries are arc lengths.
- Area dealt with by this plan shown bounded thus contains: **0.442 ha**, including **14 single residential lots**.

THIS IS A CONCEPT PLAN ONLY. SUBJECT TO CHANGE.

DATE: AUGUST 9, 2024

PROJECT MANAGER: STEPHANIE_FOSSEN

CLIENT:
1662825 Alberta Ltd.

PROJECT:
ELAN NEIGHBOURHOOD - STAGE 3C
S.E. 1/4 SEC. 33-50-24-4

DRAWING TITLE:
TENTATIVE PLAN OF SUBDIVISION

SCALE: 0 10 20 30 40 50
1:1000

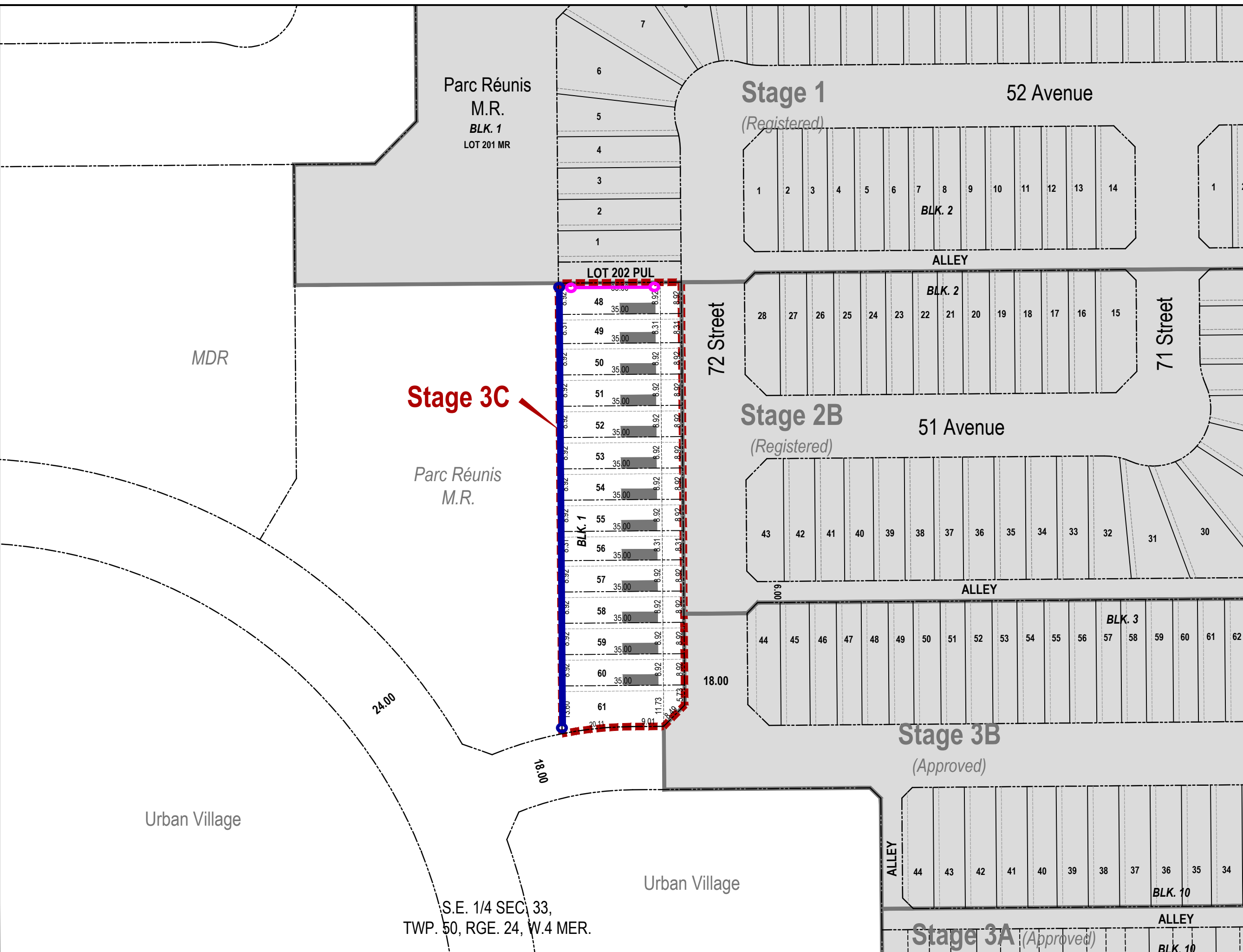
PROJECT NO/ DRAWING NO: 2023035-001



Invistec Consulting Ltd.
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(780) 293 - 7373
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Subdivision File: SDA-24-07

Attachment 2: Adviseements

1. Homebuilders should be made aware of that any home placed on a lot with a zero-lot line maintenance easement, requires a side yard setback of 1.5 m along the zero-lot line side.
2. Homebuilders should be made aware that zero lot line properties must connect roof leaders to sump pump discharge services.
3. Homebuilders should be made aware that all building permit applications for Beaumont must meet construction requirements in the National Building Code Alberta Edition 2019 (NBC-AE 2019) for a location without a 10-minute response time as applicable.
4. The City of Beaumont will not vary the General Design Standards to permit owners/builders to construct a driveway and/or driveway apron into the corner cut triangle as per the GDS (section 2.1.1.3 e. iv.). Buyers and/or builders of corner lot properties should be made aware of the development constraint.
5. Future driveways should not be located directly adjacent to curb ramps. A minimum of 1.0m clearance is required between the curb ramp and the driveway's edge.
6. Developer to inform builders that we will not entertain requests for 3-car driveways and driveway aprons extending into cut corners.

Planning & Development
5600 - 49 Street
Beaumont, AB T4X 1A1
780-929-8782
planning@beaumont.ab.ca

May 29, 2024

DATE RECEIVED
OFFICE USE ONLY

June 11, 2024

DATE PAID
OFFICE USE ONLY

OFFICE USE ONLY

SDA Number: **24-07**

Land Use District(s): **IN**

Subdivision Name: **Elan Ph3C**

Fees	Receipt #:	319153
Subdivision Application:		\$4,447.00
Notification Fee:		\$201.42
Total Fees:		\$4,648.42

1. Property Information

All/part of the _____ ¼ Sec. _____, Twp. _____, Rge _____, West of the 4th Meridian
 OR Being all/part of Lot: _____ Block _____ Plan _____
 OR Municipal Address: _____
 C.O.T. No(s): _____
 Area of the above parcels of land to be subdivided _____ Hectares (_____ Acres)

2. Applicant and Property Owner Information

Applicant/Consultant Name: _____
 Mailing Address: _____
 Municipality: _____ Province: _____ Postal Code: _____
 Phone: _____ Cell Phone: _____
 Email (required): _____

Is the Applicant also the Registered Owner? Yes (Do not fill out below) No (Fill out below - written authorization from registered owner required)

Owner Name: _____
 Mailing Address: _____
 Municipality: _____ Province: _____ Postal Code: _____
 Phone: _____ Cell Phone: _____
 Email (required): _____

3. Location of Land to be Subdivided

a. Is the land situated immediately adjacent to the municipal boundary? No Yes
 If "yes", the adjoining municipality is: _____

b. Is the land situated within 1.6 kilometers (1 mile) of the right of way of a highway? No Yes
 If "yes", the Highway is No.: _____

c. Does the proposed parcel contain or is it bounded by a river, stream, lake or other body of water or by a drainage ditch or canal? No Yes
 If "yes", state its name. _____

d. Is the proposed parcel within 1.5 kilometers (0.9 miles) of a sour gas facility? No Yes

e. Does the proposed parcel contain an abandoned well? No Yes
 If "yes", please attach a map showing the actual well bore location of the abandoned well with a description of the minimum setback requirements as set out in ERCB Directive 079.

4. Existing and Proposed Use of Land to be Subdivided

a. Existing use of Land: _____
 b. Proposed use of Land: _____

5. Physical Characteristics of Land to be Subdivided

a. Describe the nature of topography of the land (flat, rolling, steep, mixed): _____
 b. Describe the nature of vegetation and water on the land (brush, cleared, shrubs, tree stands, woodlots, sloughs, creeks, etc.): _____
 c. Describe the kind of soil on the land (sandy, loam, clay, etc.): _____

6. Existing Buildings on the Land to be Subdivided

a. Describe any buildings and any structures on the land and whether they are to be demolished or moved: _____

7. Water and Sewer Services

a. If the proposed subdivision is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and sewage disposal or indicate N/A: _____

8. Applicant Authorization

I, _____ hereby certify that
 _____ I am the registered owner,
 _____ I am the agent authorized to act on behalf of the registered owner

And that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application for subdivision approval.

Address: _____ Signed: _____

The personal information requested on this form is being collected under the authority Section 33(c) of the Freedom of Information and Protection of Privacy (FOIP) Act. The information collected will be used in the management and administration of the City of Beaumont's land development planning processes and may be communicated to relevant City Business Units. If you have any questions about the collection or use of your personal information, contact the City of Beaumont's FOIP Coordinator at 5600-49th Street, Beaumont, Alberta, T4X 1A1 or 780.929.8782.



Parc Réunis
M.R.
BLK. 1
LOT 201 MR

Stage 1
(Registered)

52 Avenue

LOT 202 PUL

72 Street

Stage 2B
(Registered)

51 Avenue

71 Street

Stage 3C

Parc Réunis
M.R.

BLK. 1

Stage 3B
(Approved)

Stage 3A
(Approved)

MDR

Urban Village

Urban Village

S.E. 1/4 SEC. 33,
TWP. 50, RGE. 24, W.4 MER.

SDA-24-07 Conditionally Approved by
Kendra Raymond, RPP, MCIP
Subdivision Authority on August 28, 2024
SDA-24-07 expires on August 28, 2025

LEGEND:

- Elan Stage 3C Subdivision Boundary
- Elan Stage 1 & 2B & 3A & 3B Subdivision Boundary
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DATE: AUGUST 9, 2024

PROJECT MANAGER: STEPHANIE_FOSSEN

CLIENT: 1662825 Alberta Ltd.

PROJECT: ELAN NEIGHBOURHOOD - STAGE 3C
S.E. 1/4 SEC. 33-50-24-4

DRAWING TITLE: TENTATIVE PLAN OF SUBDIVISION

SCALE: 0 10 20 30 40 50
1:1000

PROJECT NO/ DRAWING NO: 2023035-001

 **Invistec Consulting Ltd.**
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