

All forms and supporting documents (listed below) must be submitted at time of application.

Note: Decks below 0.60 metres (24 inches) in height (from grade to deck floor at all points) do not require a permit.

Development/Building Permit Application Form (Attached)

Consent Form (Attached) (only required if applicant is not home owner)

Development Permit Requirements

Site Plan (See example on page 3)

Lot and house dimensions (This information can be obtained from your most recent Real Property Report, a survey of your property conducted by a registered Alberta Land Surveyor)

Location and dimensions of the deck

Distances the deck will be from rear and side property lines

Distances the house is from rear and side property lines (Include distance to front property line if application is for a front yard deck)

Location of deck steps, if any

Height from grade to deck floor

Address of the property

Declaration of Abandoned Wells (Only required for new buildings larger than 47m² (505 square feet) or additions to existing buildings resulting in the building being larger than 47m² (505 square feet).

Building Permit Requirements

Elevation View & Guardrail Design Drawing (See example on page 4)

Height from grade to deck floor

Height of guardrail

Distance between guardrail posts

Stair details, if you have stairs (number of steps, rise of steps, height of hand rail, etc.)

Distance deck extends from house

Distance of deck foundation from house

Size, depth, and type of deck foundation

Floor Plan/Framing Detail (See example on page 5)

Size of beam and post spacing

Location of piles

Size and spacing of joists

Material used for decking

Joist span

Fees (See Development Fee Schedule)

MUST BE PAID AT TIME OF APPLICATION (cheques payable to City of Beaumont)

- Please note we cannot accept credit card payments at this time

Questions regarding development or completing application: development@beaumont.ab.ca | 780-929-8782

Questions regarding building portion of application: buildinginspection@beaumont.ab.ca | 780-929-1363

Planning & Development
5600 - 49 Street
Beaumont, AB T4X 1A1
780-929-8782
development@beaumont.ab.ca

DATE RECEIVED
OFFICE USE ONLY

DATE PAID
OFFICE USE ONLY

Note: You may apply for a Building Permit and/or a Development Permit with this one combo application. Electrical, Plumbing, and Gas Permits each have their own application forms.

Property Information		
Street Address: _____		
Plan: _____	Block: _____	Lot: _____

Applicant and Property Owner Information	
Applicant/Contractor Name: _____	
Mailing Address: _____	
Town: _____	Postal Code: _____
Phone: _____	Cell Phone: _____
Email (required): _____	
Is the Applicant also the Registered Owner? <input type="checkbox"/> Yes (Do not fill out below) <input type="checkbox"/> No (Fill out below - written authorization from registered owner required)	
Owner Name: _____	
Mailing Address: _____	
Town: _____	Postal Code: _____
Phone: _____	Cell Phone: _____
Email (required): _____	

Proposed Development	
Construction Value: (Approximate cost of material & labour)	\$ _____
I am applying for a: <input type="checkbox"/> Development Permit AND/OR <input type="checkbox"/> Building Permit	
Check one of the following:	
<input type="checkbox"/> Uncovered Deck ^{SQ FT:} _____	<input type="checkbox"/> Hot Tub ^{SQ FT:} _____
<input type="checkbox"/> Covered Deck ^{SQ FT:} _____	<input type="checkbox"/> Corner Lot Fence**
<input type="checkbox"/> Other: _____	<input type="checkbox"/> Accessory Building (Other than Garage) ^{SQ FT:} _____
<input type="checkbox"/> Additional Dwelling Unit ^{SQ FT:} _____	<input type="checkbox"/> Accessory Building (Detached Garage) ^{SQ FT:} _____
<input type="checkbox"/> Home Based Business*** <input type="checkbox"/> Major <input type="checkbox"/> Minor	Basement Development* ^{SQ FT:} _____
	Number of Bedrooms in Dwelling: _____
	Business Name: _____
Has work on the above indicated item already commenced? <input type="checkbox"/> Yes <input type="checkbox"/> No	

* No Development Permit required

** No Building Permit required

***Business License also required, Building Permit may be required

OFFICE USE ONLY	
Permit Number: _____	
Mail <input type="checkbox"/> Pick-up <input type="checkbox"/>	
<input type="checkbox"/> Authorization or ID Received	
Land Use District: _____	
Tax Roll: _____	
<input type="checkbox"/> Permitted Use	
<input type="checkbox"/> Permitted Use w/ Variance	
<input type="checkbox"/> Discretionary Use	
Fees	Receipt #:
Development Permit: _____	
Building Permit: _____	
Safety Code Council: _____	
Electrical Permit: _____	
SCC Electrical: _____	
Plumbing Permit: _____	
SCC Plumbing: _____	
Gas Permit: _____	
SCC Gas: _____	
Variance: _____	
Notification Fee: _____	
GST: _____	
Other: _____	
Total Fees: _____	

Applicant Authorization	
<ol style="list-style-type: none"> I am the owner/agent with the consent and authority of the owner that is the subject matter of this permit application. I hereby give my consent to allow any authorized person pursuant to the Municipal Government Act Section 542 the right to enter the land and/or building(s) with respect to this application only. I understand this is only an application and does not constitute approval to commence construction. I declare that the information contained in this application is correct and true to the best of my knowledge. I declare that I will notify the Development Authority of any proposed changes to the plans submitted with this application. I consent to receiving notifications & correspondence regarding this application via email to the address provided on this application. I agree By checking the "I agree" box above, you agree and authorize your electronic signature to be valid and binding upon you to the same force and effect as a handwritten signature. 	
Electronic Signature: _____	Date: _____

OFFICE USE ONLY	
Development Permit	
Date Deemed Complete: _____	Date of Decision: _____ (See attached Notice of Decision)
Building Permit	
See Attached Report	
Safety Codes Officer: _____	Designation No. _____ Date: _____



DEVELOPMENT / BUILDING PERMIT AUTHORIZATION FORM

OWNER INFORMATION

I (We), _____

(name(s) of Registered Land Owner(s))

being the registered land owners of:

Municipal Address: _____ Postal code _____

Legal Description: _____

Owner Phone number: _____

Owner Email: _____

Do hereby authorize:

APPLICANT INFORMATION

Company: _____

Contact Name: _____

Address: _____ Postal code _____

Phone: _____

Email: _____

to make application for the necessary building / development permits required to complete the following project: _____

For Commercial Only:

Owner is responsible for all costs associated with water metering changes, including all piping, and removal and/or replacement of water meter(s). Changes are required to water meter (please circle) Yes No

If yes, please contact Public Works at 780-929-4300.

ALL REPORTS WILL BE PROVIDED TO OWNER AND APPLICANT

(Print name of Registered Land Owner)

(Print name of Registered Land Owner)

(Signature of Registered Land Owner)

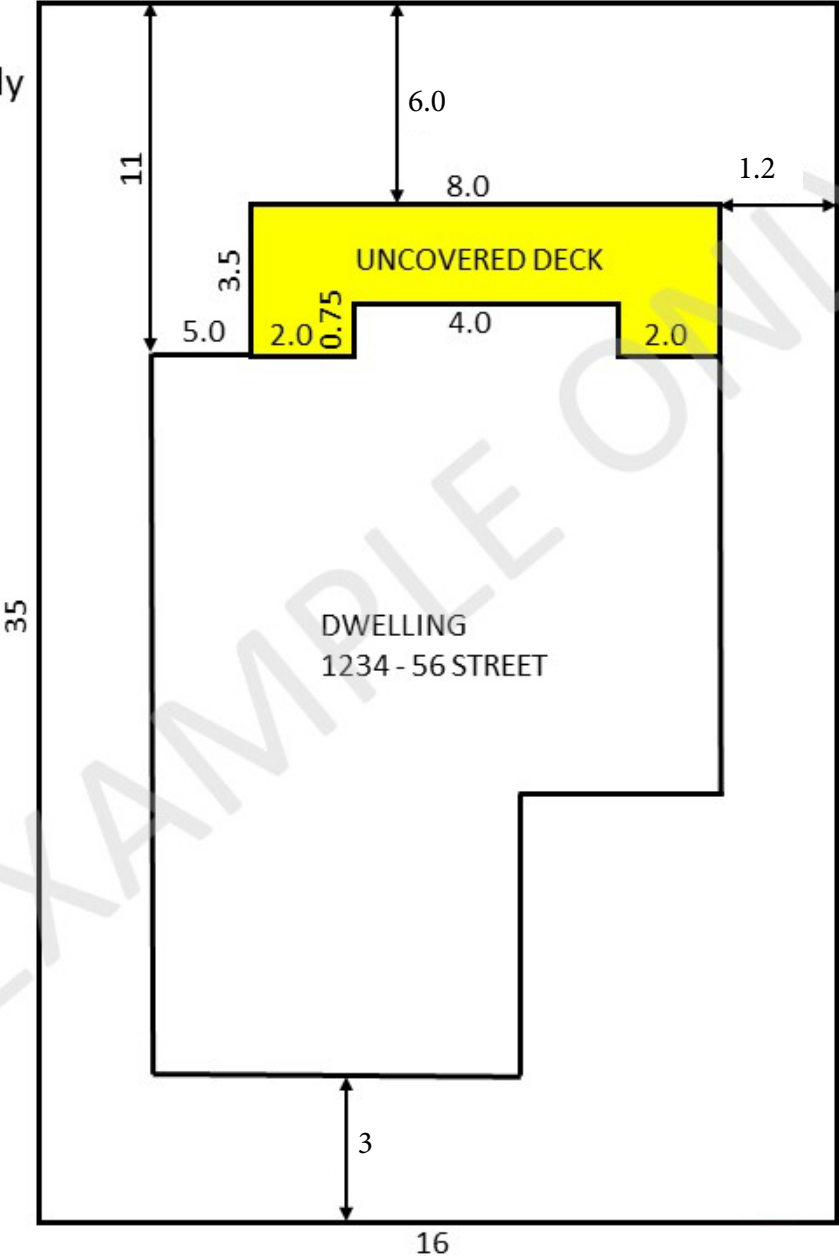
(Signature of Registered Land Owner)

Date

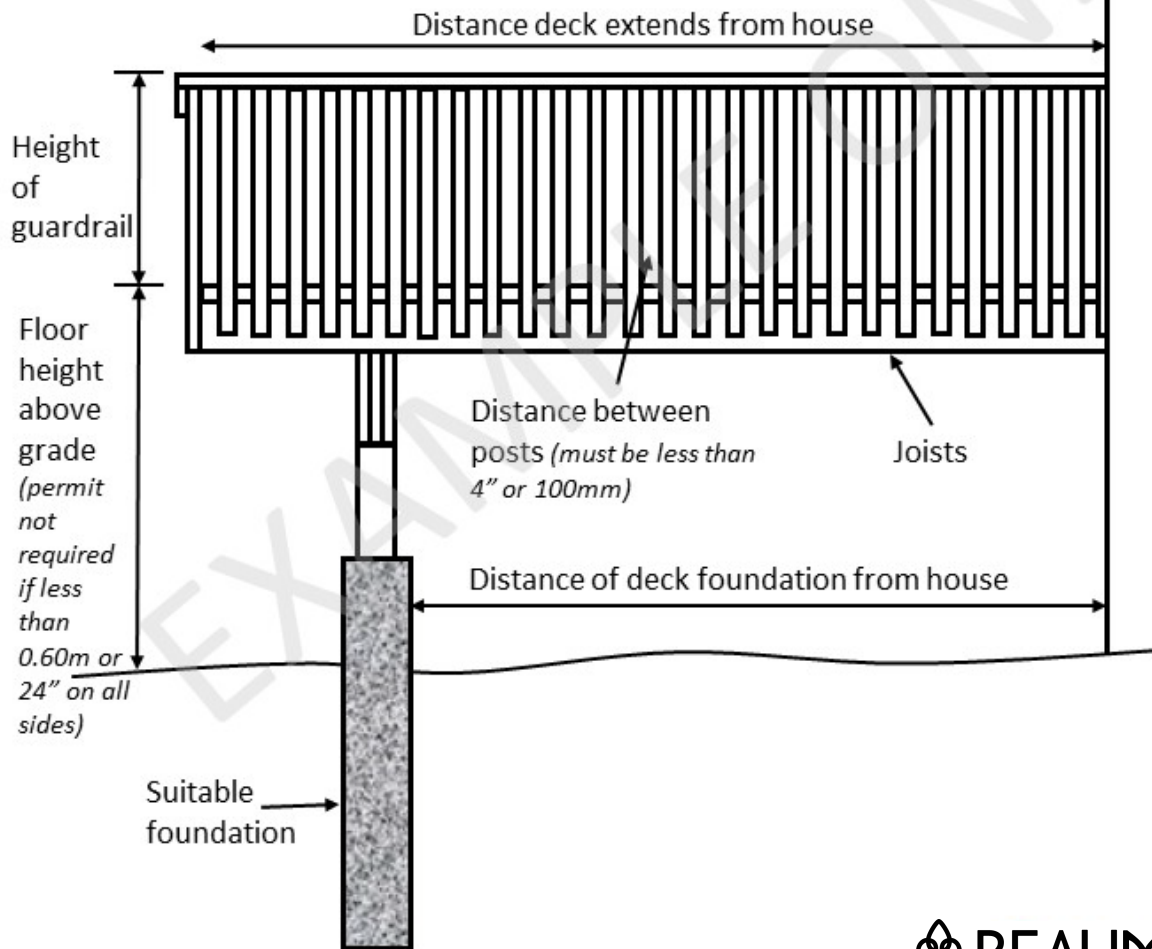
Date

The personal information requested on this form is being collected under the authority of Section 33(c) of the Freedom of Information and Protection of Privacy (FOIP) Act. The information collected will be used for the purpose of permit review and inspection processes and may be communicated to relevant City Business Units, utility providers, and Alberta Health Services. It may also be used to conduct ongoing evaluations of services received from City Business Units. The name of the applicant and the nature of the permit will be available to the public. If you have any questions about the collection or use of your personal information, contact the City of Beaumont's FOIP Coordinator at 5600-49th Street, Beaumont, Alberta, T4X 1A1 or 780.929.8782.

Site Plan –
Example Only



Elevation and Guardrail Design – Example Only

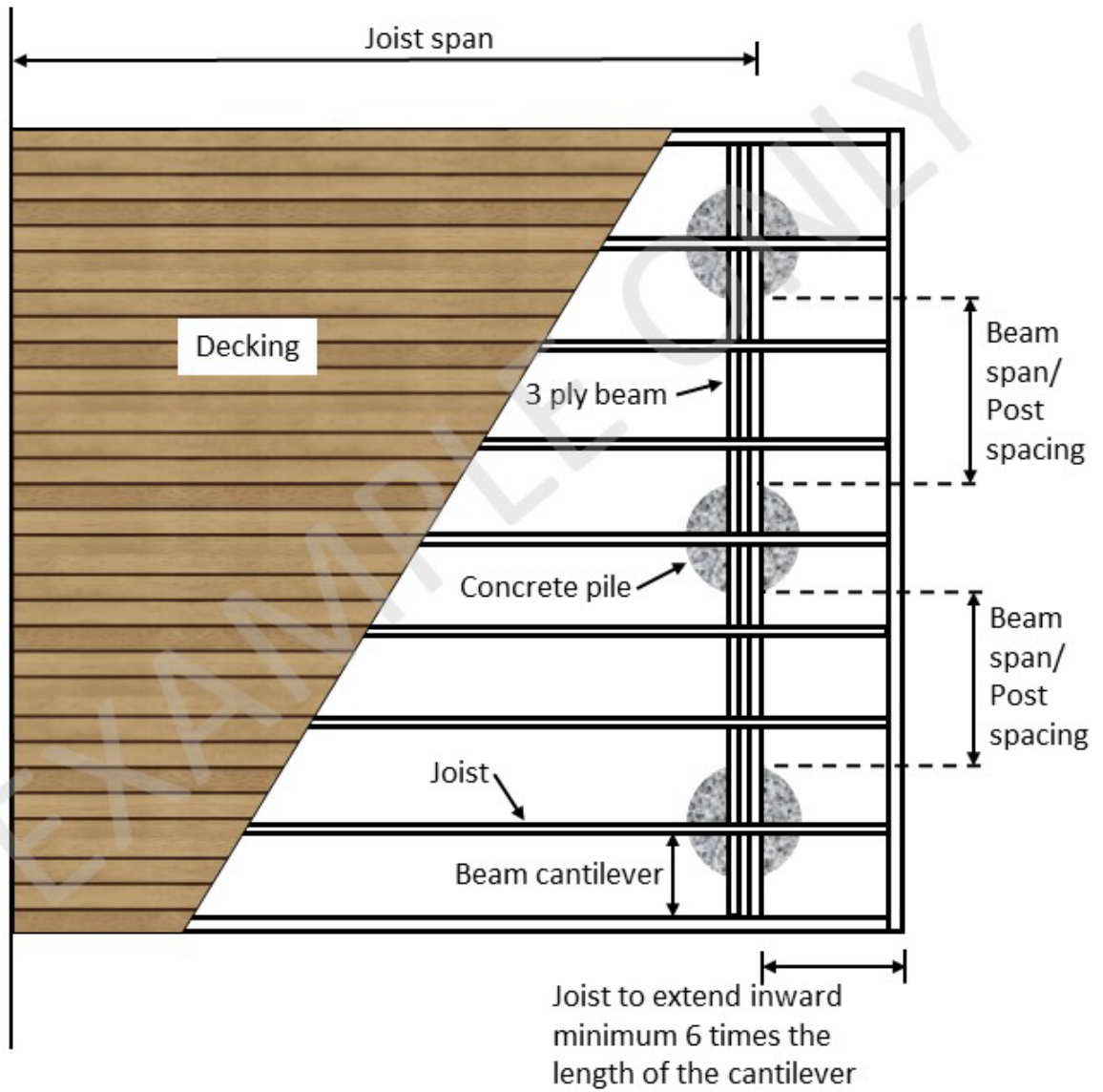


 **BEAUMONT**

Note:

- If the floor to grade distance is more than 6', the guardrails must be at least 42" (1.07m) high.

Floorplan/Framing Detail– Example Only



Maximum Framing Spans				
Joists Span	16" o.c.	24" o.c.	Beam Span	Post Spacing
2 x 6"	9'-4"	8'-2"	n/a	n/a
2 x 8"	11'-7"	10'-9"	3-2x8	9'-9"
2 x 10"	13'-7"	12'-11"	3-2x10	11'-11"
2 x 12"	15'-7"	14'-8"	3-2x12	13'-10"



City of Beaumont
5600 - 49 Street
Beaumont, Alberta T4X 1A1
Phone: (780) 929-8782
Fax: (780) 929-3300
Email: development@beaumont.ab.ca

DECLARATION - ABSENCE OF ABANDONED WELLS ON PARCEL

I, _____, have reviewed information from the Energy Resource and Conservation Board ("ERCB") and can advise that the information shows the absence of any abandoned wells on the parcel that is the subject of the attached application for Development Permit.

Subject Parcel:

Lot: _____ Block: _____ Plan: _____

Municipal Address: _____

Signature

Printed Name

Date

SEE REVERSE FOR INFORMATION

DECLARATION - ABSENCE OF ABANDONED WELLS ON PARCEL

Why do I need to disclose information about abandoned wells on my parcel?

New Requirements

Effective November 1, 2012, the Subdivision and Development Regulation (Alberta Regulation 160/2012) has changed. The changes relate to the Subdivision and Development requirements around abandoned well sites. The new provisions require some changes to our business practices.

In addition to our current application submission requirements, all new Development Permit and Subdivision Applications must include the following:

Development Permit Application

An application for a development permit for **a new building that will be larger than 47 square meters, or an addition to or an alteration of an existing building that will result in the building being larger than 47 square meters**, must include:

- Information provided by the Energy Resources Conservation Board (ERCB) identifying the location or confirming the absence of any abandoned wells within the parcel on which the building is to be constructed, or, in the case of an addition, presently exists.
- This information can be obtained by either contacting the Energy Resources Customer Care Centre at 1-855-297-8311 (toll free) or using the GeoDiscover Alberta Map at: https://maps.srd.alberta.ca/GDA_View/Viewer/Viewer.aspx?Viewer=GDA to confirm whether an abandoned well is located on your property.

If you **do not have an abandoned well site on your property**, you will be required to fill out the "Declaration – Absence of Abandoned Wells on Parcel" form and include it with your development application.

If you **do have an abandoned well on your property**, you will be required to meet the requirements as set out in ERCB's Directive 079.

The information is not required if it was submitted to the same development authority within the last year.

The following links provide further information on the added provision.

Information Bulletin, Alberta Municipal Affairs:

http://www.municipalaffairs.alberta.ca/documents/msb/information_Bulletin_05_12.pdf

ERCB Directive:

<http://www.ercb.ca/directives/Directive079.pdf>

DECK INFORMATION

Civic Address _____ Legal _____
 Applicant's Name (print) _____ Signature _____

Deck Construction Details

Deck Floor above Ground Height (A) _____

Guardrail Height (B) _____

Joist Span (C) _____ Joist Size (D) _____ Spacing (E) _____

Post/Pile Spacing (F) _____ Beam Size (G) _____

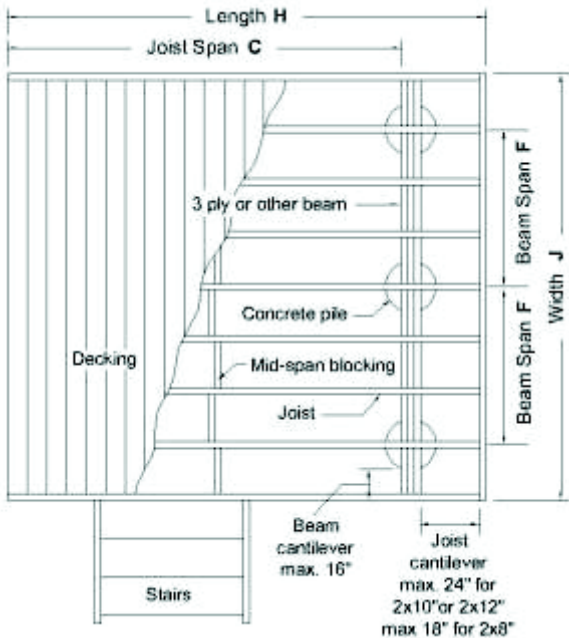
Deck Length (H) _____ Deck Width (J) _____

Decking Material _____

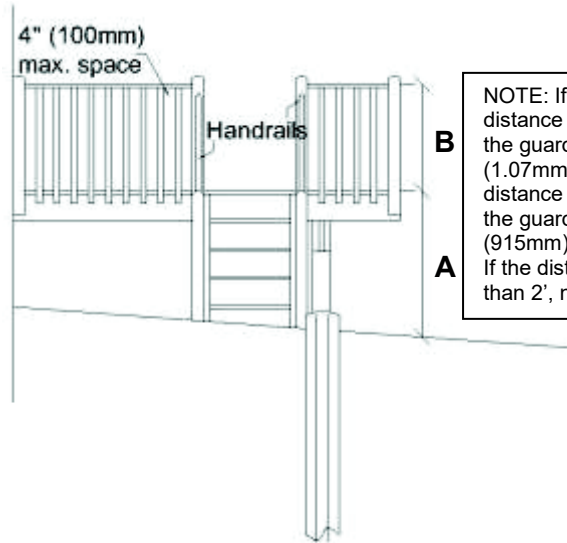
Foundation Type: Engineered Screw-piles Concrete Pile (12" x 12', 2-15 m rebar) Other: _____

Additional Information: _____

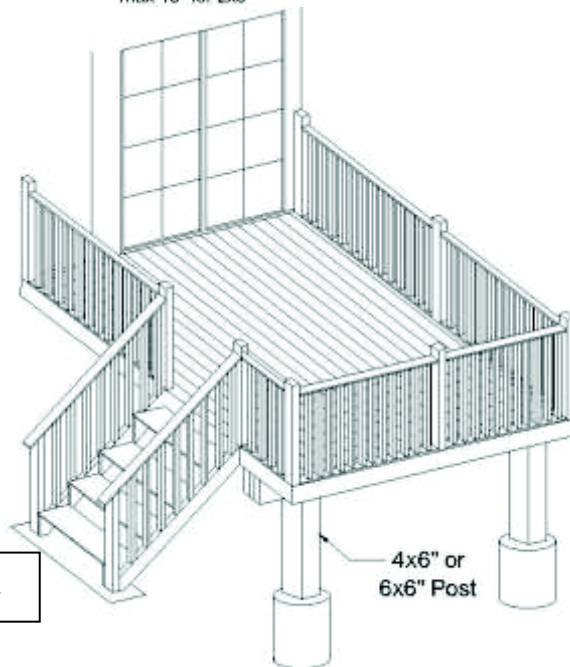
Framing Details



Guardrail Design



NOTE: If the floor to ground distance is more than 6', (A) the guard height (B) is 42" (1.07m) minimum. If the distance (A) is less than 6', the guard height (B) is 36" (915mm) minimum. If the distance (A) is less than 2', no guard is required.



Maximum Joist Spans

Joist Size (D)	Span (C) (E) 16" o/c	Span (C) (E) 24" o/c
2x8"	11' - 0"	10' - 6"
2x10"	13' - 0"	12' - 4"
2x12"	14' - 10"	14' - 1"
Lumber Grade: SPF No. 1 & 2		

Maximum Beam Spans

Beam Size (G)	Post/Pile Spacing (F)
3-2x8"	10' - 1"
3-2x10"	12' - 10"
3-2x12"	15' - 0"

STAIRS: Maximum rise = 8"
 Min. step/tread = 10"