



**Subdivision Authority Decision
Friday, April 5th, 2024 at 1:00pm**

The Subdivision Authority has reviewed the following proposed Subdivision on April 3rd, 2024:

- a. SDA-21-07 Dansereau Meadows Phase 13 – One-year Time Extension**
Tentative Subdivision Plan to create 86 Single Family Dwelling Lots, and 24 Multi-Attached Lots, from a portion of N/W ¼ Sec. 34-50-24-W4M

Subdivision Authority's Decision:

On April 3rd, 2024, the Subdivision Authority conditionally approved the time extension of the tentative Subdivision plan to create 86 Single Family Dwelling Lots, and 24 Multi-Attached Lots, from a portion of N/W ¼ Sec. 34-50-24-W4M

- *Attachments: Notice of Decision, Conditions of Approval Map, Advisement, Subdivision Application, Subdivision Plan*

Contact the File Planner at planning@beaumont.ab.ca or 780-929-8782 for more information.

April 3, 2024

File: SDA-21-07

Attn: Ghazal Lotfi
Stantec Consulting Ltd.
400-10220 103 Avenue NW
Edmonton, AB T5J 0K4

RE: Subdivision Approval Extension – SDA-21-07 Dansereau Meadows Phase 13
A portion of N.W. ¼ Sec. 34-50-24-W4M – City of Beaumont

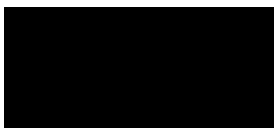
On April 3, 2024, the Subdivision Authority at their regular Subdivision Authority meeting approved the Subdivision Approval Timeline Extension for Dansereau Meadows Phase 13.

This subdivision approval is valid for one (1) year expiring March 30, 2025. You will be required to apply for endorsement so that Phase 13 may be registered at Land Titles before the expiry date.

If you do not apply for endorsement prior to the expiry date and the approval expires, you will be required to reapply with an entirely new Subdivision Application or you may wish to apply for an extension in accordance with the Section 657 of the *Municipal Government Act*.

For more information, please contact the undersigned.

Yours truly,



Georgina Campos
Development Planner
780-243-0552
Georgina.campos@beaumont.ab.ca

cc: Anthem Properties

Encls:
Conditional Subdivision Approval



May 23, 2023

File: SDA-21-07

Attn: Ghazal Lotif
Stantec Consulting Ltd.
400-10220 103 Avenue NW
Edmonton, AB T5J 0K4

RE: Subdivision Approval Extension – SDA-21-07 Dansereau Meadows Phase 13
A portion of N.W. ¼ Sec. 34-50-24-W4M – City of Beaumont

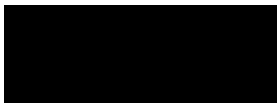
On May 23, 2023, the Subdivision Authority at their regular Subdivision Authority meeting approved the Subdivision Approval Timeline Extension for Dansereau Meadows Phase 13.

This subdivision approval is valid for one (1) year expiring March 30, 2024. You will be required to apply for endorsement so that Phase 13 may be registered at Land Titles before the expiry date.

If you do not apply for endorsement prior to the expiry date and the approval expires, you will be required to reapply with an entirely new Subdivision Application or you may wish to apply for an extension in accordance with the Section 657 of the *Municipal Government Act*.

For more information, please contact the undersigned.

Yours truly,



Sara Boulos
Development Planner
780-340-1784
Sara.boulos@beaumont.ab.ca

cc: Owner

Encls:
Conditional Subdivision Approval



Notice of Decision

Date of Decision: March 30, 2022

Elise Shillington, Stantec Consulting
400-10220 103 Avenue NW
Edmonton, AB T5J 0K4

Subdivision File Name: SDA-21-07 Dansereau Meadows Phase 13
Legal Description: A portion of N.W. ¼ Sec. 34-50-24-W4M
Land Use District: Conventional Neighbourhood & Integrated Neighbourhood
Proposed Subdivision: 86 Single Dwelling Lots, and 24 Multi-Attached Lots

Pursuant to Section 654 of the MGA, the above-described Subdivision was **CONDITIONALLY APPROVED** on March 30, 2022, subject to the following conditions:

1. That the subdivision be effected by plan of survey.
2. That the owner/developer pays their proportionate share of the Off-Site Levies applicable to this subdivision.
3. That any outstanding taxes be paid or satisfactory arrangements be made with the City of Beaumont.
4. Restrictive Covenants will be registered on the lots that are required to install fencing in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City, as shown on the "Conditions of Approval" map, Attachment 1.
5. Restrictive Covenants will be registered on the lots that are required to install freeboard in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City, as shown on the "Conditions of Approval" map, Attachment 1.
6. That all existing easements, caveats, and restrictive covenants registered to the subject property be carried over and registered on the newly created lots.
7. That easement documents required to service this parcel shall be submitted for concurrent registration at the Land Titles Office.
8. That the owner/developer agree to construct and provide security for a temporary emergency access road with knock-down bollards from Dansereau Way to Rue Montalet pursuant to the engineering drawings and in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City, as shown on the "Conditions of Approval" map, Attachment 1.
9. That the owner/developer agree to construct and provide security for temporary gravel turnarounds in locations as required due to subdivision phasing for roads pursuant to the engineering drawings and to the satisfaction of the City, as shown on the "Conditions of Approval" map, Attachment 1.
10. That the owner/developer agree to construct and provide security for pre-services for future residential properties north of Block 25, Lot 72 & Block 27, Lot 35, pursuant to the engineering drawings and to the satisfaction of the City, as shown on the 'conditional approval' map, attachment 1.
11. That the owner be permitted to register this plan of subdivision in phases in sequential order, as shown on the "Conditions of Approval" map, Attachment 1.
12. That the owner/developer enter into and abide by a Development Agreement with the City of Beaumont pursuant to Section 655 of the Municipal Government Act (MGA) to address but are not limited to the following:

PLEASE NOTE THAT THIS OFFICE WILL NOT ENDORSE ANY DOCUMENTS OR PLANS UNTIL THE APPEAL PERIOD AS SET OUT IN THE MUNICIPAL GOVERNMENT ACT HAS EXPIRED. THE APPEAL PERIOD IS CALCULATED AS 14 DAYS FROM THE DATE OF THIS DECISION LETTER.

Notice of Decision

Date of Decision: March 30, 2022

Subdivision File: SDA-21-07

- a. Construct roads, pedestrian walkway system, public utilities and to provide security for the proposed subdivision.
- b. That the owner/developer pay all costs identified in the Development Agreement, including but not limited to, assessment and inspection costs occasioned by this subdivision prior to the endorsement of the plan of subdivision.
- c. That the owner/developer pays their proportionate share of the Off-Site Levies applicable to this subdivision.
- d. That the owner/developer submit detailed engineering drawings in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City and affected utility agencies.
- e. That the owner/developer construct and provide security for a water main extension pursuant to the engineering drawings and in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City.
- f. That the owner/developer agree to construct and provide security for temporary gravel turnarounds in locations as required due to subdivision phasing for roads pursuant to the engineering drawings and to the satisfaction of the City, as shown on the "Conditions of Approval" map, Attachment 1.
- g. That the owner/developer agree to construct and provide security for a temporary emergency access road with knock-down bollards from Dansereau Way to Rue Montalet pursuant to the engineering drawings and in accordance with the City of Beaumont General Design Standards and to the satisfaction of the City and affected utility agencies, as shown on the "Conditions of Approval" map, Attachment 1.
- h. That the owner/developer agree to construct and provide security for pre-services for future residential properties north of Block 25, Lot 72 & Block 27, Lot 35, pursuant to the engineering drawings and to the satisfaction of the City, as shown on the 'conditional approval' map, attachment 1.

The Subdivision Authority received comments from adjacent landowners regarding property values, school location, and an existing body of water. The application complies with regulations set out in the Beaumont Land Use Bylaw 944-19 and is in alignment with the Dansereau Meadows Outline Plan.

The Subdivision Authority is of the opinion, after considering factors set out in Section 7 of the Subdivision and Development Regulation and the comments from adjacent landowners, that the land is suitable for the purpose for which the subdivision is intended.

Attachment 1 is a map of the subdivision and the location of specific condition requirements. Attachment 2 is a list of advisements.

Deferred Reserve Caveat (DRC) #182 307 560 associated with SDA-18-01 addresses the Municipal Reserve (MR) for N.W. ¼ Sec. 34-50-24-4. DRC #182 307 560 will be applied to the remaining portion of the title.

This approval is valid for one year expiring on **March 30, 2023**. Pursuant to the Land Use Bylaw 944-19, any extensions of the Subdivision approval may be authorized by the Subdivision Authority.

With regard to the conditions of approval, they are to be met and satisfied prior to the submission of the final plan of subdivision, which is to be prepared by an Alberta Land Surveyor.

PLEASE NOTE THAT THIS OFFICE WILL NOT ENDORSE ANY DOCUMENTS OR PLANS UNTIL THE APPEAL PERIOD AS SET OUT IN THE MUNICIPAL GOVERNMENT ACT HAS EXPIRED. THE APPEAL PERIOD IS CALCULATED AS 14 DAYS FROM THE DATE OF THIS DECISION LETTER.

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Date of Decision: March 30, 2022

Subdivision File: SDA-21-07

Once all conditions of approval have been complied with, the final plan of subdivision and endorsement plans/documents can be submitted. Please see our website for endorsement submission requirements at <https://www.beaumont.ab.ca/DocumentCenter/View/6055/Endorsement-Application-Package>.

An endorsement fee will be required to be paid upon submission of the final plan. Endorsement fees are subject to change. If the fee schedule is amended before you submit the final plan of subdivision for endorsement, the new fees will apply.

Appeal Information

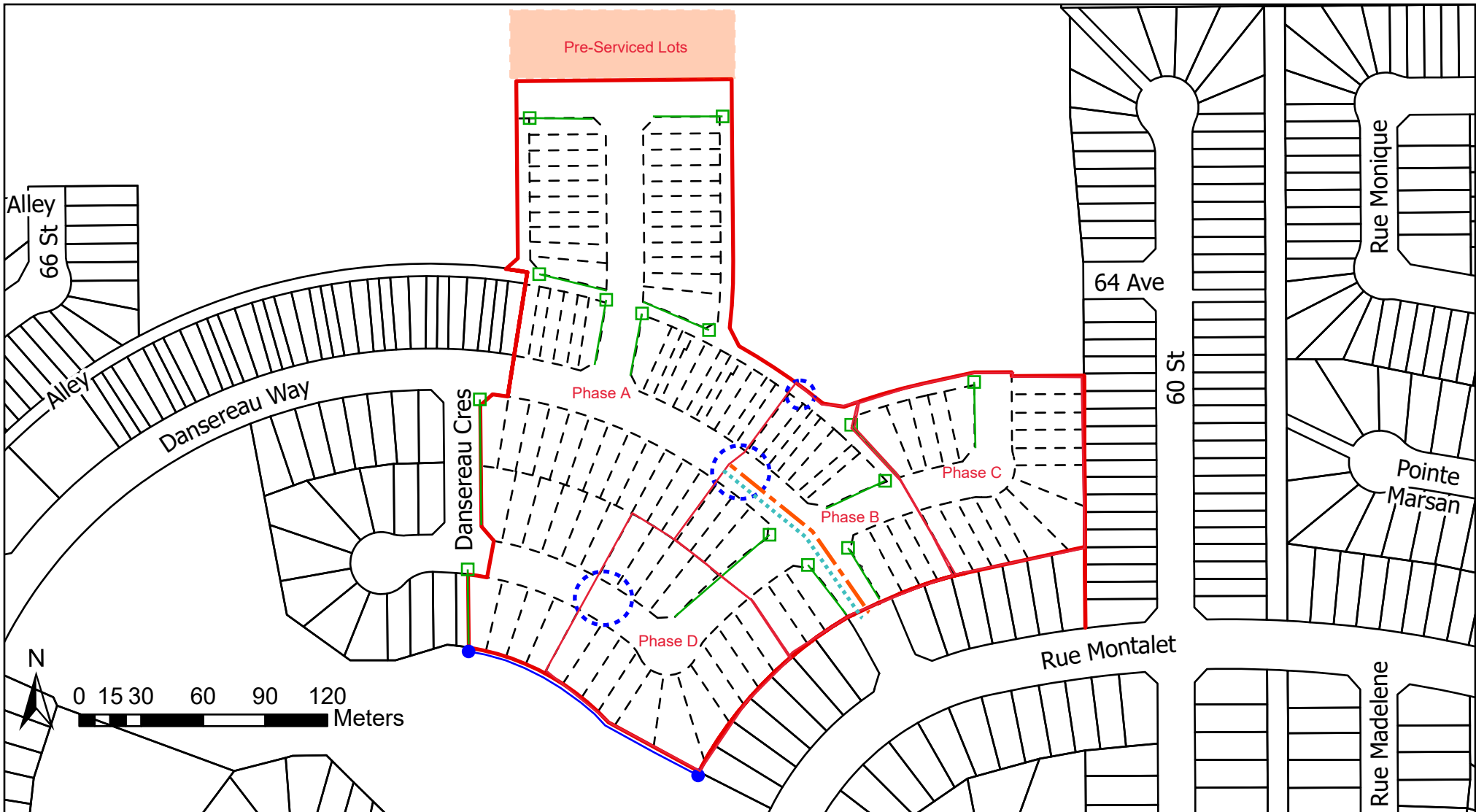
Please be advised that an appeal may be submitted in accordance with Section 678 of the Municipal Government Act with the Subdivision and Development Appeal Board within 14 days of the written decision. Please visit our website for more details at www.beaumont.ab.ca (See enclosure re: Subdivision and Development Appeals).

If you have any further questions, please contact Coralie Volker at planning@beaumont.ab.ca or 780-995-7850.


Kendra Raymond, RPP, MCIP
Subdivision Authority

Encl:
Application for Subdivision
Tentative Subdivision Plan Conditionally Approved by the Subdivision Authority

cc: Owner



Conditions of Approval Map - Dansereau Meadows Phase 13

Portion of the N.W. 1/4 Sec. 34-50-24-W4M

Subdivision Application No:
SDA-21-07

Mapped by:
Kemi.M

Checked by:
Coralie.V

Numeric Scale:
1:660

Date - mn\dd\yr
09/12/2021

Projected Coordinate System:
CANADA NAD 83-3TM-114

Legend

- Registered Parcels
- Dansereau Meadows Phase 13 Boundary
- Proposed_Subdivision
- Board Fence (1.8m)
- Freeboard
- Temporary Turn Around
- Pre-Servicing Area
- Temporary Emergency Access
- Water Main Extension



City of Beaumont
5600 49 Street
Beaumont, AB
T4X 1A1

Notice of Decision

Date of Decision: March 30, 2022

Subdivision File: SDA-21-07

Attachment 2 – Advisements

1. Homebuilders should be made aware of that any home placed on a lot with a zero lot line maintenance easement, requires a side yard setback of 1.5 m along the zero lot line side.
2. Homebuilders should be made aware that all building permit applications for Beaumont must meet construction requirements in the National Building Code Alberta Edition 2019 (NBC-AE 2019) for a location without a 10 minute response time as applicable.
3. Homebuilders must be made aware that lots with front or rear attached or detached garage product will not be permitted to construct a driveway within a corner cut as per the GDS (section 2.1.1.3 e. iv.).

Planning & Development
5600 - 49 Street
Beaumont, AB T4X 1A1
780-929-8782
planning@beaumont.ab.ca

DATE RECEIVED
OFFICE USE ONLY

2021.09.02
DATE PAID
OFFICE USE ONLY

OFFICE USE ONLY	
SDA Number:	
Land Use District(s):	
Subdivision Name:	
Fees	Receipt #: 285831
Subdivision Application:	
Notification Fee:	
Total Fees:	

1. Property Information

All/part of the _____ ¼ Sec. _____, Twp. _____, Rge _____, West of the 4th Meridian
 OR Being all/part of Lot: _____ Block _____ Plan _____
 OR Municipal Address: _____
 C.O.T. No(s): _____
 Area of the above parcels of land to be subdivided _____ Hectares (_____ Acres)

2. Applicant and Property Owner Information

Applicant/Consultant Name: _____
 Mailing Address: _____
 Municipality: _____ Province: _____ Postal Code: _____
 Phone: _____ Cell Phone: _____
 Email (required): _____

Is the Applicant also the Registered Owner? Yes (Do not fill out below) No (Fill out below - written authorization from registered owner required)

Owner Name: _____
 Mailing Address: _____
 Municipality: _____ Province: _____ Postal Code: _____
 Phone: _____ Cell Phone: _____
 Email (required): _____

3. Location of Land to be Subdivided

a. Is the land situated immediately adjacent to the municipal boundary? No Yes
 If "yes", the adjoining municipality is: _____

b. Is the land situated within 1.6 kilometers (1 mile) of the right of way of a highway? No Yes
 If "yes", the Highway is No.: _____

c. Does the proposed parcel contain or is it bounded by a river, stream, lake or other body of water or by a drainage ditch or canal? No Yes
 If "yes", state its name. _____

d. Is the proposed parcel within 1.5 kilometers (0.9 miles) of a sour gas facility? No Yes

e. Does the proposed parcel contain an abandoned well? No Yes
 If "yes", please attach a map showing the actual well bore location of the abandoned well with a description of the minimum setback requirements as set out in ERCB Directive 079.

4. Existing and Proposed Use of Land to be Subdivided

a. Existing use of Land: _____
 b. Proposed use of Land: _____

5. Physical Characteristics of Land to be Subdivided

a. Describe the nature of topography of the land (flat, rolling, steep, mixed): _____
 b. Describe the nature of vegetation and water on the land (brush, cleared, shrubs, tree stands, woodlots, sloughs, creeks, etc.): _____
 c. Describe the kind of soil on the land (sandy, loam, clay, etc.): _____

6. Existing Buildings on the Land to be Subdivided

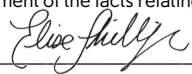
a. Describe any buildings and any structures on the land and whether they are to be demolished or moved: _____

7. Water and Sewer Services

a. If the proposed subdivision is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and sewage disposal or indicate N/A: _____

8. Applicant Authorization

I, _____ hereby certify that
 _____ I am the registered owner,
 _____ I am the agent authorized to act on behalf of the registered owner
 And that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application for subdivision approval.

Address: _____ Signed:  _____
 Phone Number: _____ Date: _____

FURTHER INFORMATION MAY BE PROVIDED BY THE APPLICANT ON THE RESERVE OF THIS FORM



400-10220 103 Avenue
 Edmonton, AB T5J 0K4
 Tel. 780.917.7000
 www.stantec.com

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Notes

All distances are expressed in metres and decimals thereof.

Area to be subdivided outlined thus and contains approximately 5.30 hectares, including 110 residential lots.

**SDA-21-07 Dansereau Meadows
 Phase 13 Conditionally Approved
 on March 30, 2022 by Kendra
 Raymond, RPP, MCIP
 Director Planning and
 Development/Subdivision
 Authority.**

**SDA-21-07 Expires on March 30,
 2023**

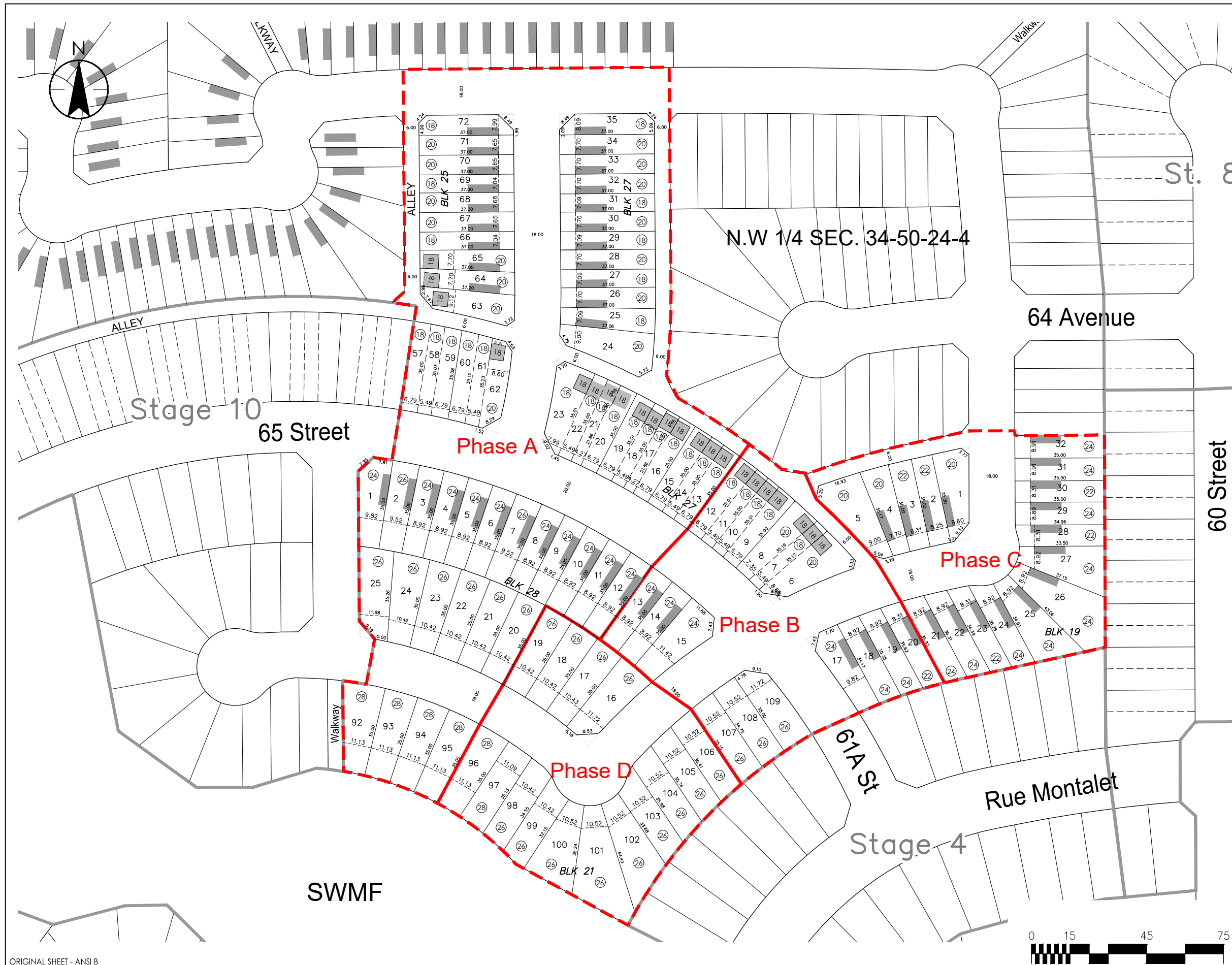
Revision _____ By _____ YY.MM.DD

Client/Project
 ANTHEM UNITED COMMUNITIES LP
 PLAN SHOWING PROPOSED SUBDIVISION
 OF PORTION OF N.W 1/4 SEC. 34-50-24-4

Edmonton, AB

Title
 TENTATIVE PLAN OF SUBDIVISION
 DANSEREAU MEADOWS - STAGE 13

Project No. 1161 109500 KC
 March 2, 2022
 Scale 1:1500



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ORIGINAL SHEET - ANSI B