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## Development Permit Notice of Decision

Date of Decision: September 2, 2022

Luthind Enterprises Inc.  
Unit 20, 3908 97 Street  
Edmonton, AB T6E 6N2

Via e-mail: info@ironco.ca

**Proposed Development:** **Commercial & Residential Uses:** *Retail & Service – General, Dwelling Units (30)*  
**Legal Description:** Plan 202 1479, Block 1, Lot 10A  
**Municipal Address:** 6206 29 Avenue, Beaumont, AB  
**Land Use District:** Commercial  
**Permit Application No:** 2022-098  
**Tax Roll:** 009490

**Development Permit Status:** Approved with conditions

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### Development Permit Conditions

The development noted above is considered a Permitted Use (Commercial Retail & Service – General) and Discretionary Use (Dwelling Units – 30) with variances within the Commercial District and has been **approved** by the Development Authority subject to the conditions listed below. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met. **Be sure to review all the documentation included with this permit.**

#### General

1. Unless otherwise provided for in this approval, all requirements of the City of Beaumont Land Use Bylaw 944-19 shall be met.
2. The Land Use Bylaw 944-19 (“LUB”), Commercial Neighbourhood District applies with respect to this development.
3. The site shall be developed in accordance with the attached drawings with the exceptions and conditions as noted herein. **Any changes to the attached plans require prior written approval by the Development Authority.**
4. Development shall commence within one year from the date of decision noted above. If the development does not commence within this time frame, a new development permit will be required.
5. As this permit has been issued for a Permitted Use (Retail & Service – General) and the Discretionary Use (Dwelling Units-30) with variances, this permit shall not come into force and effect until the appeal period has expired September 23, 2022).
6. The density of the site is acceptable and meets the LUB regulations.

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### Variance

7. **Variations have been granted to allow the following:**

- a. Section 3.7.6(v) has been varied to allow the lot coverage to exceed the maximum allowable coverage of 40% by 9.5%.
- b. Section 3.7.8.b.ii has been varied to allow the entrance feature to have a minimum depth of 1.2 metres instead of 3 metres.
- c. Section 3.7.8.b.vii has been varied to allow the ground floor façade to have 42.6% of non-glazed windows and doors instead of the minimum 50% requirement.
- d. Section 3.7.10.b.ii has been varied to allow the Pedestrian Network around the south side of the building to be less than the minimum width of 2.0m except for the area where the loading zone is. The Pedestrian Network through the loading zone on the south side shall be 2.0m in width and be separated by grade.
- e. Section 3.7.10.b.iii has been varied to allow parking to be off-site and located on the adjacent Lot 10, Block 1, Plan 082 7377.

### Building Placement Standards

8. The principal frontage, side and rear setbacks are acceptable and meet the LUB regulations.
9. No accessory buildings are proposed. A separate development permit will be required for any additional buildings on the site.
10. The rooftop amenity area shall have rails as per the approved Railing Details and meet all regulations, guidelines, and acts as they pertain to safety.
11. The Applicant shall install lights on the building in accordance with the approved attached elevation plans and details, and they shall be directed downward and all lighting shall be compliant with International Dark-Sky Association requirements.
12. The Applicant shall provide plans and details of the lights details including their location and lux levels for the rooftop amenity area. The Applicant shall obtain approval from the Development Authority for the proposed lights prior to issuance of the Building Permit.
13. The Solid Waste Receptacles shall be 2 or 3 stream and are approved at the location as shown on the approved Site Plan dated Nov 2021 krp.

### Building Profile Standards

14. The building height to eave is 4-storeys and meets the LUB regulations.
15. The approved drawings for the proposed residential/commercial building do not show any rooftop mechanical equipment. Should rooftop mechanical equipment be required, revised drawings shall be submitted and approval from the Development Authority shall be obtained prior to any installations.
16. Based on the details of the approved plans, the development meets the minimum required 75% Essential Elements and 25% Suggest Elements of the Beaumont Urban Design Guidelines.

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### Frontage Type Standards

17. The Frontage Standard that applies to this development is Shopfront where the entrance feature is at sidewalk grade and where the façade has several windows on the ground floor with an awning or similar structure projecting over the entrance.

### Landscaping & Screening Standards

18. The development site area is under 2500m<sup>2</sup> and shall include a minimum of 3 trees. The Applicant shall ensure there are 6 trees, as shown on the approved attached Planting Plan L1 dated June 23, 2022.
19. The development site area is under 2500m<sup>2</sup> and shall include a minimum of 5 shrubs. The Applicant shall ensure there are 15 shrubs as shown on the approved attached Planting Plan L1 dated June 23, 2022.
20. The Applicant shall landscape the site as per the approved attached Planting Plan L1 dated June 23, 2022.

### Parking, Access & Loading Standards

21. The LUB requires thirty-four (34) on-site parking stalls based on the intended uses for this development, and none are being provided on site. A Shared Parking and Access Agreement shall be entered into between Lot 10, Block 1, 082 7377 and Lot 10A, Block 1, Plan 202 1479 to ensure that 34 parking stalls and snow storage are available for the use of this development. The Agreement shall be approved by the City of Beaumont, include the provision that it shall not be released without the approval from the City of Beaumont and be registered at Land Titles on both properties (or proof of submission) prior to issuance of the Building Permit.
22. Barrier free parking stall details will be approved under the building permit.
23. A maximum of 50% of the site can be used to accommodate parking and applies to this development and this is met as parking is being provided off-site on Lot 10, Block 1, Plan 082 7377.
24. The LUB requires six (6) bicycle parking stalls and they are providing six (6) on-site and are approved as per the approved Planting Plan L1 dated June 23, 2022.
25. The Applicant shall install the Pedestrian network as outlined on the approved Site Plan dated Nov 2021 krp. The Pedestrian Network does not meet the minimum 2.0m width between the base of the step to the edge of the sidewalk on the south side of the building.
26. The loading space shall be at least 4 metres wide and 8 metres long.

### General

27. That the Applicant enter into and abide by a Development Agreement with the City of Beaumont pursuant to section 650 of the Municipal Government Act. The Development Agreement shall be in a form satisfactory to the City and shall include but not limited to the following:
  - a. that the Applicant shall provide security in a form satisfactory to the City for all obligations under the Development Agreement.
28. A Cross Lot Servicing Agreement between Lot 10, Block 1, Plan 082 7377 and Lot 10A, Block 1, Plan 202 1479 shall be approved by the City of Beaumont and include the provision that it shall not be released without

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the approval from the City of Beaumont), registered at Land Titles on both properties (or proof shown that it has been submitted) prior to issuance of the Building Permit.

29. A Cross Lot Drainage Easement for overland drainage between Lot 10, Block 1, Plan 082 7377 and Lot 10A, Block 1, Plan 202 1479 shall be approved by the City of Beaumont, include the provision that it shall not be released without the approval from the City of Beaumont, and be registered at Land Titles on both properties (or proof or submission) prior to issuance of the Building Permit.

### **Additional Information**

1. This Notice of Decision is NOT a building permit. Work or construction shall not commence until an applicable Building Permit has been issued under the Alberta Safety Codes Act and any other applicable bylaws or regulations. Three detailed sets of drawings stamped by an Engineer of the building floor plan and including Electrical, Plumbing, Gas and Mechanical. **All Schedules must be included**
2. The General Contractor will require a Contractor's License with the City and it allows all sub-trades to work on this site without requiring their own business license.
3. This Development Permit is issued under the City of Beaumont Land Use Bylaw 944-19. It does not exempt you from compliance with any other municipal bylaw or statutory plan applicable to the Proposed Development, any relevant federal or provincial statute or regulation, or any easement, covenant, agreement, or contract affecting the subject lands.
4. The Applicant shall contact all franchise utilities to arrange for any service connections that are required. Where City utilities and services are interfered with or for construction, which is on municipal property, the Applicant will be responsible for the cost of relocation/repair of these municipal services.
5. Provide evidence of water flow requirements and provide design criteria for fire protection required by the size and construction type of the building proposed.
6. Bylaw 689-08 - Water and Sanitary Sewer Utility Sections 4.13 and 4.14 are to be followed and approved by the municipality with respect to grease traps in any proposed building or bay.
7. The water meter(s) for this project shall be purchased from the City of Beaumont. For each meter to be installed a "Water Meter Permit Request" must be completed electronically and submitted to [waterandwastewater@beaumont.ab.ca](mailto:waterandwastewater@beaumont.ab.ca). This application must be submitted thirty (30) days prior to occupancy. Size, type, and number of meters per building must be approved by the City of Beaumont.
8. Applicable Plumbing, Electrical and Gas permits can be applied for through Superior Safety Codes. Their office is located at 14613 – 134 Avenue, Edmonton, AB, T5L 4S9, phone 780-489-4777, fax 780-489-4711.
9. The General Contractor will require a Contractor's License with the City and it allows all sub-trades to work on this site without requiring their own business license.
10. The Fire Chief requires that the City of Beaumont Fire Department be provided with one (1) elevator key, to be used during a rescue operation, in the event occupants or visitors to the building become trapped inside the elevator car.

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11. The Applicant shall purchase a key box from the City Hall Office to ensure all building units are accessible in case of an emergency.
12. Beaumont General Design Standards shall be followed and met to the satisfaction of the municipality.
13. Contact Alberta One Call at 1-800-242-3447 to locate underground services prior to construction, if applicable.
14. The proposed development must meet or exceed the requirements of the current Alberta Building Codes, Alberta Fire Codes and NFPA1141.
15. Separate sign permit applications will be required for any on-site signage.

**Failure to comply with any of the preceding conditions will render this permit null and void.**

### **Appeal Information**

Any Development Permit may be appealed to the Subdivision and Development Appeal Board (SDAB) if the permit was:

- a) issued for a permitted use with a variance, or for a discretionary use, or
- b) issued with conditions, or
- c) refused.

An appeal may be filed by:

- a) the person applying for the permit, and/or
- b) any person affected by the issuance of the permit.

As the person applying for the permit, you may appeal the decision of the Development Authority regarding the permit or any conditions placed on the permit (as listed above) within 21 days after the date on which the decision is made.

<b>Notice of Decision:</b>	September 2, 2022
<b>Appeal deadline:</b>	September 23, 2022
<b>Permit active</b> (if no appeals filed):	September 24, 2022

To file an appeal or to get information on the appeal process you must contact the Secretary of the SDAB directly at 780-929-8782 or at [legislative@beaumont.ab.ca](mailto:legislative@beaumont.ab.ca). Appeals must be filed no later than 4:30 p.m. on the date indicated above.

### **Permit Notification Information**

In accordance with the City of Beaumont Land Use Bylaw 944-19, notices regarding this Development Permit have been mailed to owners of adjacent and nearby properties, as these individuals have the right to appeal this permit, as explained above. The same Development Permit Notice mailed to these individuals has been attached for your information.

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Furthermore, given that this Development Permit is for a development that may be of public interest, general information regarding this approved Permit may be published on the City of Beaumont website.

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For more information regarding this Development Permit, its conditions, or the Land Use Bylaw, contact the Development Authority who made the decision on this permit:



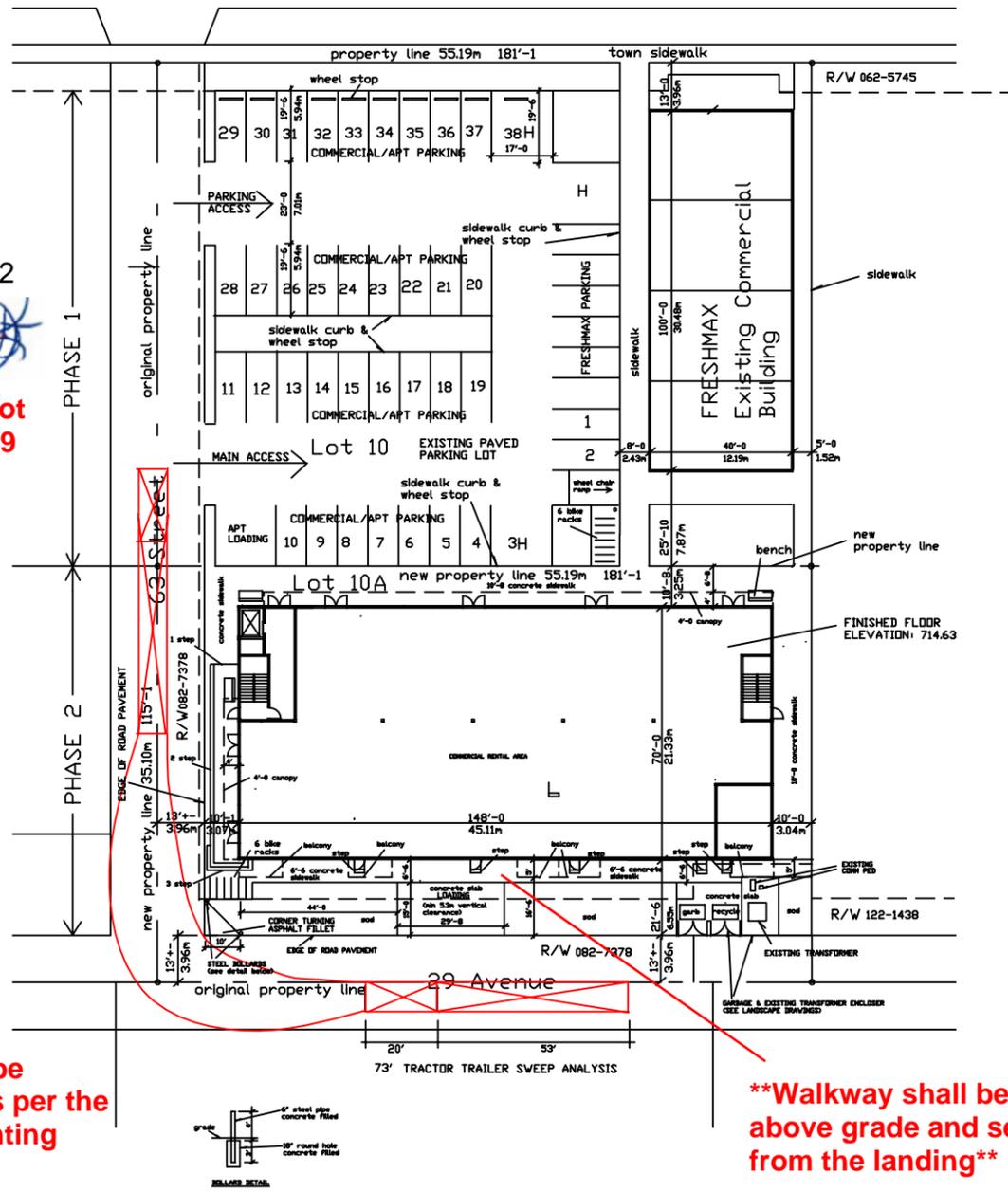
Shari Edgington  
Development Officer  
780-340-1678  
[Shari.edgington@beaumont.ab.ca](mailto:Shari.edgington@beaumont.ab.ca)

Cc: Curtis Doblanko, Director, Finance  
Kendra Rammond, Director, Planning & Development  
Wendy Jones, Acting Director, Economic Development  
Jay Melvin, Director, Protective Services & Fire Chief  
Punam Grewal, Manager, Project Manager  
Joannes Wong, Manager, Long Range Planning  
Iolanda Troiani, Engineering Coordinator  
Sara Edge, Operations Facility Administrative Assistant  
Troy Birtles, Accurate Assessment  
Kate Alexander, Leduc Public Health



30 Avenue

September 2, 2022  
Approved Development Officer  
Site Plan Approval is for Lot 10A, Block 1, Plan 202 1479 Only



**\*\*Property to be landscaped as per the approved Planting Plan L1\*\***

**\*\*Walkway shall be continuous, above grade and separate from the landing\*\***

ADDRESS:  
6206-29 Avenue, Beaumont

LEGAL DESCRIPTION:  
Lot 10A  
Block 1  
Plan 2021479

ZONING:  
Land Use Bylaw 944-19  
C Commercial District  
- Site Coverage 40%  
- Yard Setbacks 3m

SITE AREA: Lot 10A  
1943.39 sq m 20,911 sq ft

BUILDING AREA:  
Footprint Commercial/Apt Building 962.8 sq m 10,360 sq ft

SITE COVERAGE:  
49.5%

BUILDING HEIGHT:  
4 storeys

PARKING REQUIRED:  
Commercial/Apt Building 38 stalls

PARKING PROVIDED:  
38 stalls provided with parking agreement with adjacent property to north)

BUILDING CLASSIFICATION:  
Group D, E, C

PARKING ANALYSIS:  
- Commercial/Apt Building provided with 38 stalls (there are 24 apartment units over 75sq m, type of commercial units not determined yet)  
- 38 stalls provided with parking agreement with adjacent property to north)  
- a 15'-0 x 29'-8 loading area is provided at the rear door, and 17'-0 x 17'-0 loading area at the apartment entrance

-for LANDSCAPE DRAWINGS see drawings by ROCKEL DESIGNS  
-for LOT GRADING see drawings by WHITENECT ENGINEERING INC  
-for LIGHTING PLAN ANALYSIS see drawings by WAVE ENGINEERING

KENNETH R. POWLEY  
ARCHITECT

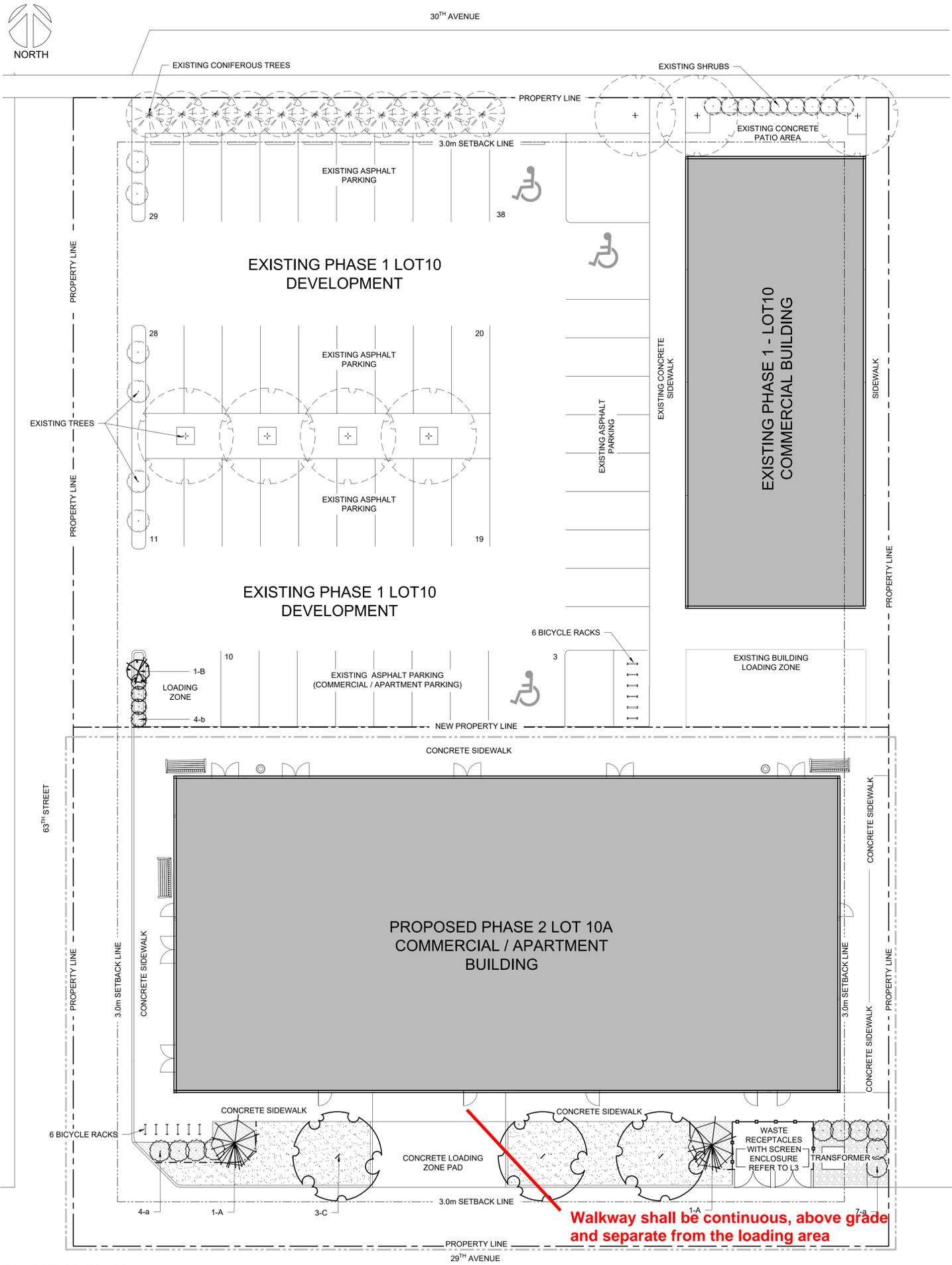


COMMERCIAL/APARTMENT BUILDING  
6206 - 29 Avenue  
Beaumont, Alberta  
SITE PLAN

Nov 2021 krp

Job No 2123

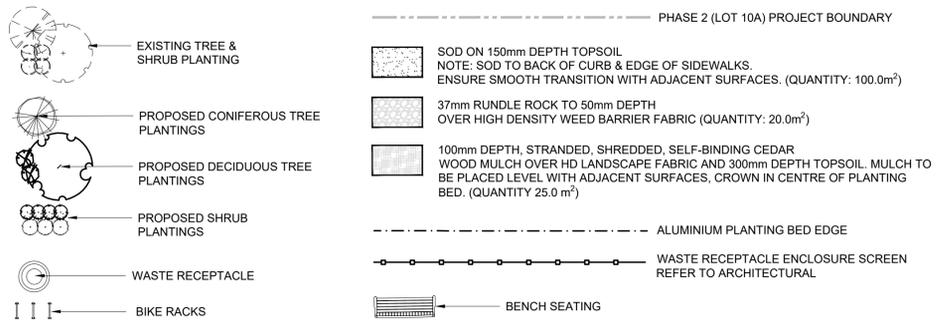
A-1



**PLANTING PLAN**

SCALE 1:150

**LEGEND**



**NOTES**

- PLANTING NEAR UTILITIES**
- The contractor will contact Provincial utility location agency no less than 48 hours prior to construction to locate and stake all underground utilities.
  - Prior to installation of plant material, the consultant will inspect and approve all staked tree locations with regards to utilities as located by utility location agency.
  - Where possible, trees shall be set back a minimum distance, measured from the centre of the tree trunk, from above and below grade utilities and property lines:
- |  |            |
|--|------------|
| Distance from light standards                          | 3.5m       |
| Distance from fire hydrants                            | 3.5m       |
| Distance from stop and yield signs                     | 3.5 - 5.0m |
| Distance from other signs                              | 2.0m       |
| Distance from underground power lines                  | 1.0m       |
| Distance from power hardware (pedestals, transformers) | 3.5m       |
| Distance from gas & other services                     | 1.5m       |
| Distance from shallow underground utilities            | 1.0m       |
| Distance from sanitary and storm sewers                | 1.8m       |
| Distance from water mains and services                 | 2.5m       |
- Distance from overhead power utilities shall be as per the requirements established by the Utility Authority.
- |                     |      |
|---------------------|------|
| Arterial Roadway    |      |
| Median curb face    | 2.0m |
| Boulevard curb face | 1.5m |
- |                       |      |
|-----------------------|------|
| Collector Residential |      |
| Median curb face      | 1.5m |
| Boulevard curb face   | 1.5m |
- |                     |      |
|---------------------|------|
| Local Roadways      |      |
| Median curb face    | 1.5m |
| Boulevard curb face | 0.5m |
- |           |      |
|-----------|------|
| Driveways | 1.0m |
| Sidewalks | 0.5m |
- \* Any distances less than this are at the discretion of the City of Beaumont
- Maintain the minimum defined setbacks from utilities for all excavations.
  - All tree / shrub excavation closer than the minimum distance to underground utilities shall be hand-dug. The contractor will be responsible for notifying the consultant and affected utility representatives to review and approve all hand-dug excavations. Affected utility representatives must be present to supervise all hand-dug excavations.
  - Prevent damage to fencing, plant materials, natural features, benchmarks, buildings, pavement, curbs, culverts, and utilities, and make good any changes.
  - No metal tree stakes to be used within one (1) meter of a power

**BYLAW REQUIREMENTS**

MUNICIPAL INFORMATION: 6206 - 29 Avenue, BEAUMONT

LEGAL DESCRIPTION: LOT 10A, BLOCK 1, PLAN 202 1479

EXISTING ZONE: C - COMMERCIAL DISTRICT

LOT 10A AREA: 1943 m<sup>2</sup> BUILDING FOOTPRINT: 963 m<sup>2</sup> SITE COVERAGE 49.5%

**MINIMUM LANDSCAPE REQUIREMENTS:**  
 LOT 10A AREA: 1943.0 m<sup>2</sup>  
 3 TREES FOR LOTS < 2,500 m<sup>2</sup> 5 SHRUBS FOR LOTS < 2,500 m<sup>2</sup>  
 REQUIRED TREES: 3 REQUIRED SHRUBS: 5

**PARKING REQUIREMENTS:**  
 MINIMUM 1 TREE & 3 SHRUBS / PARKING ISLAND. ALL PARKING PLANTING REQUIREMENTS MET IN PHASE 1 DEVELOPMENT

**TOTAL PHASE 2 - LOT 10A PLANTING REQUIREMENTS:**  
 MINIMUM TREES: 3  
 MINIMUM SHRUBS: 5

**PROPOSED PLANT MATERIALS:**  
 TREES: 6  
 SHRUBS: 15

TOTAL SOFT LANDSCAPED AREA: 145 m<sup>2</sup>  
 TOTAL HARD SURFACED (CONCRETE / ASPHALT) AREA: 835 m<sup>2</sup>

Approved September 2, 2022  
**Development Officer**  
**Landscaping Approval for Lot 10A, Block 1, Plan 202 1479 Only**

**PLANTING SCHEDULE**

Key	Qty	Common Name	Botanical Name	Size	Remarks
<b>Trees</b>					
A	2	Swiss Stone Pine	<i>Pinus cembra</i>	2500mm ht.	W.B. single leader/ specimen
B	1	Swedish Columnar Aspen	<i>Populus tremulata 'Erecta'</i>	50mm cal.	W.B. single leader/ specimen
C	3	Bur Oak	<i>Quercus macrocarpa</i>	50mm cal.	W.B. single leader/ specimen
<b>Shrubs</b>					
a	11	Summer Wine Ninebark	<i>Physocarpus opulifolius 'Seward'</i>	450-600mm ht.	#5 container / specimen
b	4	Albion Currant	<i>Ribes missouriense 'Albion'</i>	450-600mm ht.	#5 container / specimen

ALBERTA ONE-CALL  
1-800-242-3447

**ATTENTION**  
 This drawing is prepared for the sole use of Luthind Enterprises Inc.  
 No representations of any kind are made by Rockel Designs or its employees to any party with whom Rockel Designs does not have a contract.  
**WARNING**  
 Utilities or structures shown on this drawing were compiled from information supplied by various parties and may not be complete or accurate. Expose and conclusively confirm the location in the field all underground utilities and structures indicated on this drawing, all underground utilities in the area of the proposed work and any utilities or structures reasonably apparent from an inspection of the proposed work. Rockel Designs assumes no responsibility for loss or damage caused by third party negligence or failure to comply with the above.  
 The Contractor is to verify all dimensions and report any discrepancies. This drawing is the property of Rockel Designs. Copies are not to be made without written consent.

**NOT FOR CONSTRUCTION**

REISSUED FOR DEVELOPMENT PERMIT  
JUNE 23, 2022

Rev	Issued	M/D/Y	DESCRIPTION	CHKD	DRAWN
00	03	06/23/22	REISSUED FOR DEVELOPMENT PERMIT	CR	CR
00	02	05/02/22	REISSUED FOR DEVELOPMENT PERMIT	CR	CR
00	01	04/07/22	REISSUED FOR DEVELOPMENT PERMIT	CR	CR
00	00	01/03/22	ISSUED FOR DEVELOPMENT PERMIT	CR	CR

Revisions / Issued For

Consultants

Seal  
  
 Cory G. Rockel  
 Re-issued for Development Permit  
 2022-06-23

**Rockel Designs**  
 #15 51511 RR 264  
 Spruce Grove, Alberta T7Y 1C7  
 Ph: 780-918-0349

Scale: 1:150 Job No.: 1000.0011.01

Date: JUNE 23, 2022 Drawn by: CR

Checked by: CR Designed by: CR

Project:  
**BEAUMONT COMMERCIAL - APARTMENT DEVELOPMENT**

6206 - 29 AVENUE  
 BEAUMONT

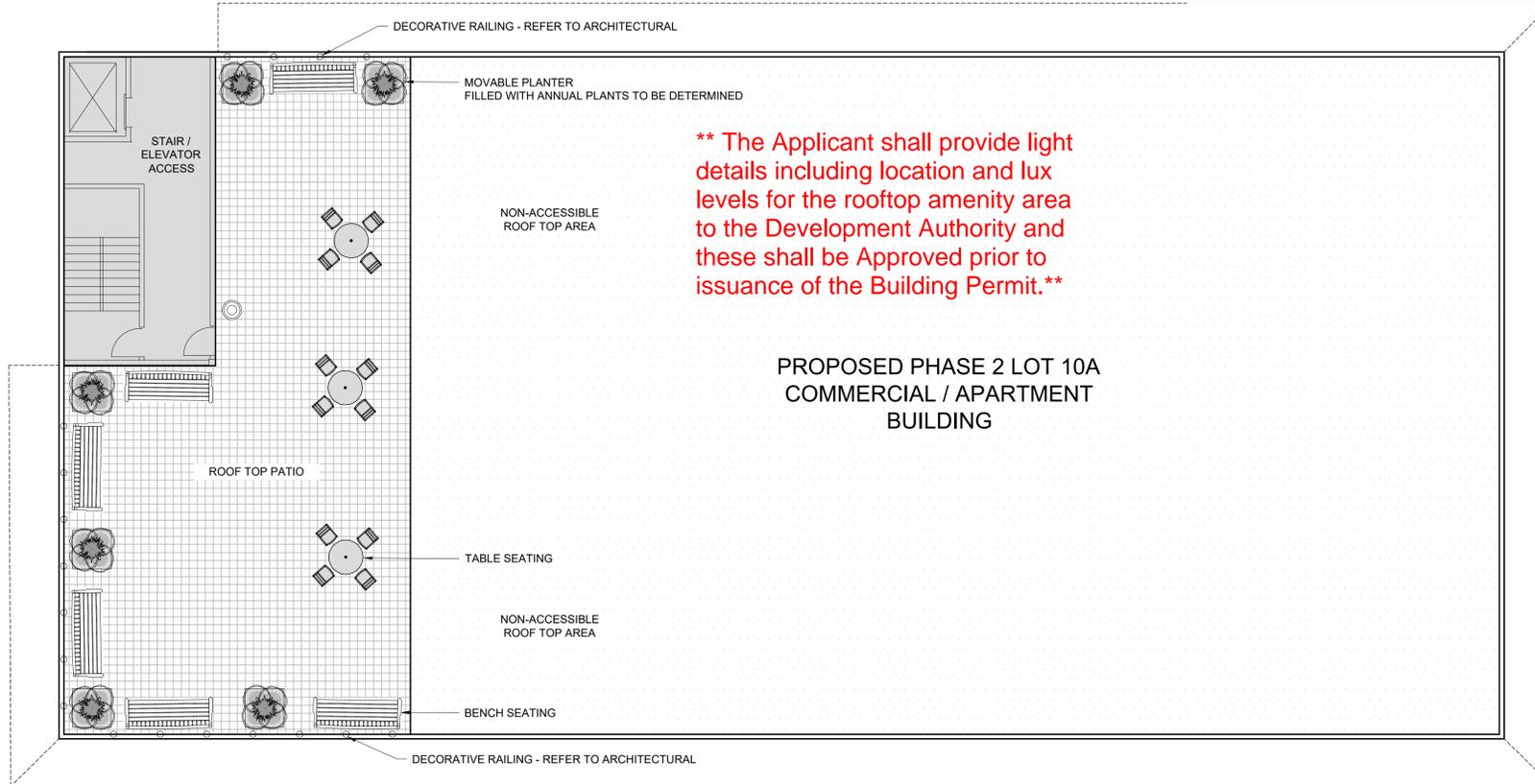
Drawing: **PLANTING PLAN** Sheet: **L1**

00  
Revision



LEGEND

- BENCH SEATING - PRODUCT TO BE CONFIRMED
- WASTE RECEPTACLE - PRODUCT TO BE CONFIRMED
- TABLE SEATING - PRODUCT TO BE CONFIRMED
- MOVEABLE PLANT POTS - PRODUCT TO BE CONFIRMED FILLED WITH ANNUAL PLANTINGS TO BE CONFIRMED



**\*\* The Applicant shall provide light details including location and lux levels for the rooftop amenity area to the Development Authority and these shall be Approved prior to issuance of the Building Permit.\*\***

PROPOSED PHASE 2 LOT 10A  
COMMERCIAL / APARTMENT  
BUILDING

ROOF TOP PATIO PLAN (FOR INFORMATION ONLY)  
SCALE 1:100

SITE FURNISHING EXAMPLES - FOR DISCUSSION

PROPOSED SITE AND ROOFTOP BENCH EXAMPLE - TO BE CONFIRMED  
DU MOR SITE FURNISHING (OR APPROVED EQUAL)  
AVAILABLE FROM - PARKWORKS  
12824 - 141 STREET, EDMONTON, AB.  
PHONE: (800) 667-4264

BENCH  
MODEL: PLASTIC BENCH 57  
COLOURS: TO BE DETERMINED

PROPOSED SITE AND ROOFTOP WASTE RECEPTACLE EXAMPLE - TO BE CONFIRMED  
DU MOR SITE FURNISHING (OR APPROVED EQUAL)  
AVAILABLE FROM - PARKWORKS  
12824 - 141 STREET, EDMONTON, AB.  
PHONE: (800) 667-4264

WASTE RECEPTACLE  
MODEL: STEEL RECEPTACLE 107 W/ BONNET TO ASH URN  
COLOURS: TO BE DETERMINED

PROPOSED BIKE RACK EXAMPLE - TO BE CONFIRMED  
DU MOR SITE FURNISHING (OR APPROVED EQUAL)  
AVAILABLE FROM - PARKWORKS  
12824 - 141 STREET, EDMONTON, AB.  
PHONE: (800) 667-4264

BENCH  
MODEL: BICYCLE RACK 290-00/S-2  
COLOURS: TO BE DETERMINED

ROOF TOP FURNISHING EXAMPLES - FOR DISCUSSION

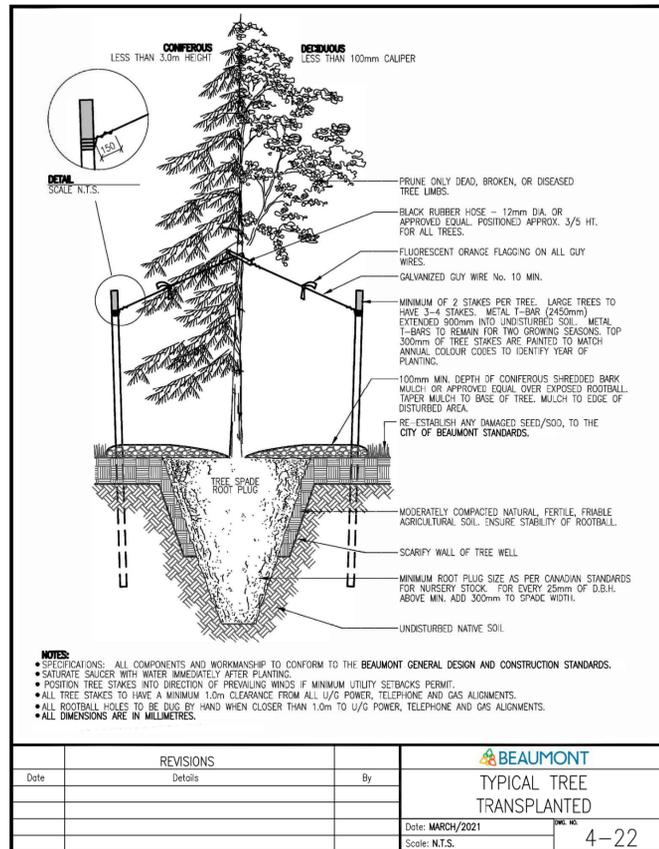
PROPOSED ROOFTOP TABLE SEATING - TO BE CONFIRMED  
DU MOR SITE FURNISHING (OR APPROVED EQUAL)  
AVAILABLE FROM - PARKWORKS  
12824 - 141 STREET, EDMONTON, AB.  
PHONE: (800) 667-4264

TABLE  
MODEL: 4 SEAT - 42" DIA. TABLE 267 - 40TX  
COLOURS: TO BE DETERMINED

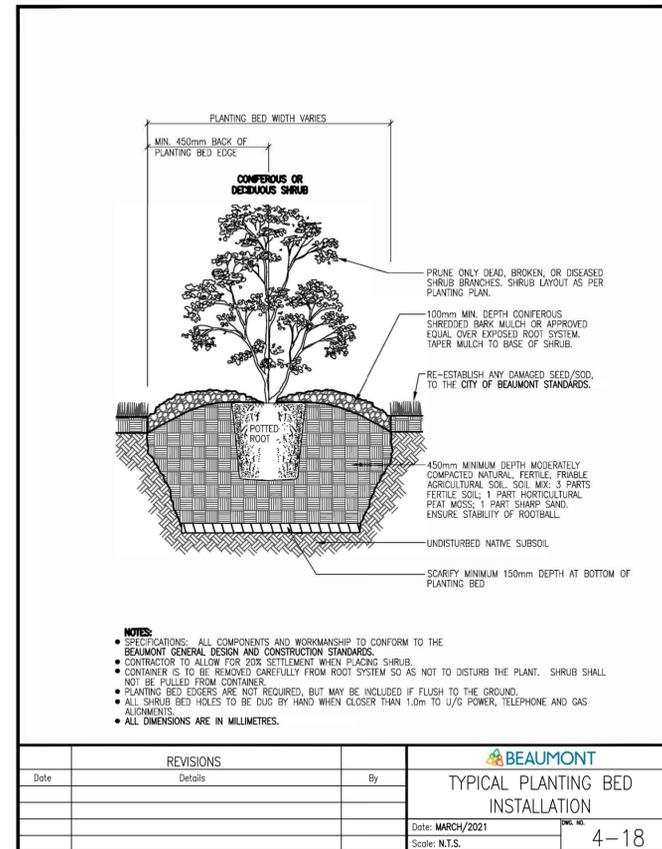
PROPOSED ROOF TOP PLANTER EXAMPLES - TO BE CONFIRMED  
MAGLIN SITE FURNISHING (OR APPROVED EQUAL)  
4303 9TH STREET CALGARY, AB.  
CONTACT JACKIE NIELSEN  
PHONE: (888) 271-8666

PLANTERS  
MODEL #: 1500 SERIES  
COLOUR: TO BE DETERMINED

ANNUAL PLANTING TO BE CONFIRMED



1 L2 TYPICAL TREE PLANTING  
SCALE: NTS



2 L2 TYPICAL SHRUB PLANTING  
SCALE: NTS

ALBERTA ONE-CALL  
1-800-242-3447

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00	00	01/03/22	ISSUED FOR DEVELOPMENT PERMIT	CR	CR

Revisions / Issued For

Consultants

Seal

The Alberta Association of Landscape Architects  
Cory G. Rockel  
Re-issued for Development Permit  
2022-06-23

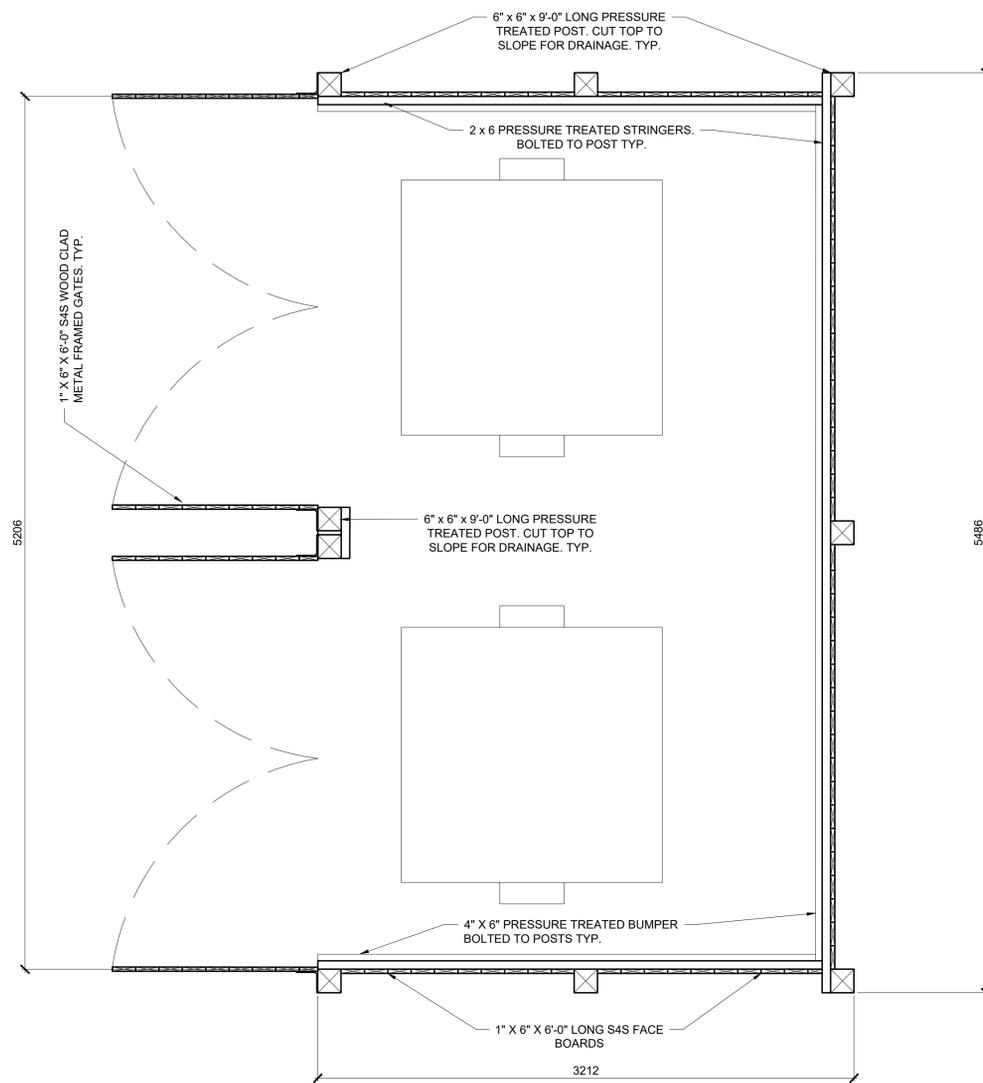
Rockel Designs #15 51511 RR 264 Spruce Grove, Alberta, T7Y 1C7 Ph: 780-918-0349

Scale: AS NOTED Job No.: 1000.0011.01  
Date: JUNE 23, 2022 Drawn by: CR  
Checked by: CR Designed by: CR

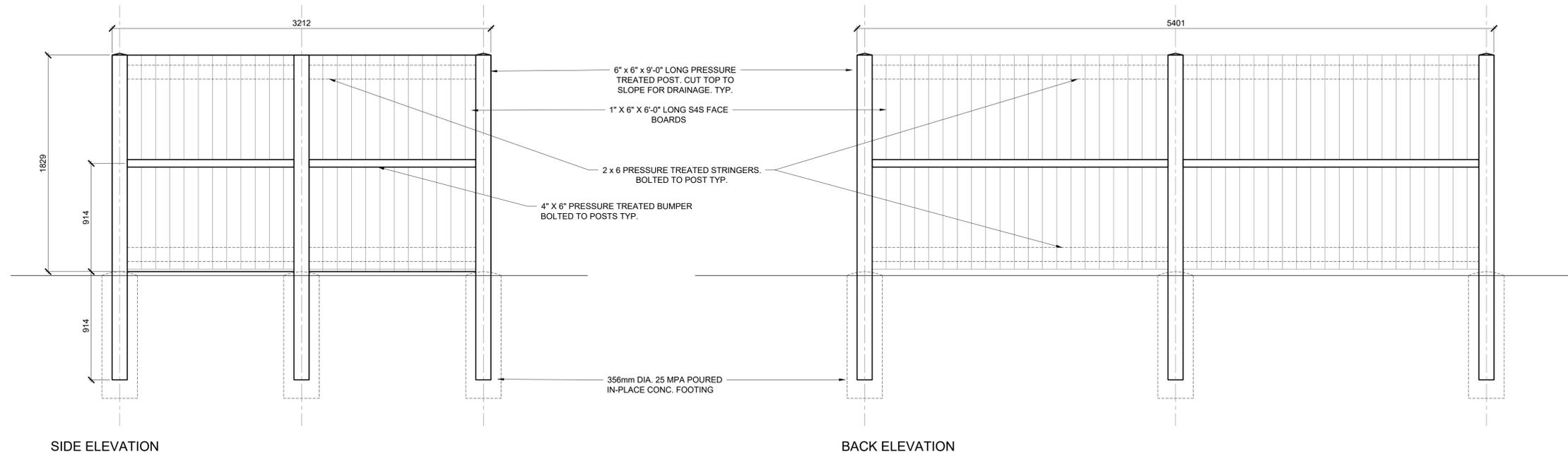
Project:  
BEAUMONT COMMERCIAL - APARTMENT DEVELOPMENT  
6206 - 29 AVENUE  
BEAUMONT

Drawing: ROOFTOP PATIO & PLANTING DETAILS  
Sheet: L2  
Revision: 00

Approved September 2, 2022  
Development Officer



LAYOUT PLAN



SIDE ELEVATION

BACK ELEVATION

- NOTES:
- WASTE ENCLOSURE TO BE PAINTED WITH A MINIMUM OF 2 COATS EXTERIOR STAIN PRIOR TO INSTALLATION. ALL MARKS TO BE TOUCHED UP AFTER CONSTRUCTION.
  - COLOUR TO MATCH GREY STUCCO SIDING OF BUILDING - COLOUR TO BE DETERMINED.
  - ALL DIMENSIONS IN MILLIMETRES.

ALBERTA ONE-CALL  
1-800-242-3447

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REISSUED FOR DEVELOPMENT PERMIT  
JUNE 23, 2022

Rev	Issued	M/D/Y	DESCRIPTION	CHKD	DRAWN
00	03	06/23/22	REISSUED FOR DEVELOPMENT PERMIT	CR	CR
00	02	05/02/22	REISSUED FOR DEVELOPMENT PERMIT	CR	CR
00	01	04/07/22	REISSUED FOR DEVELOPMENT PERMIT	CR	CR
00	00	01/03/22	ISSUED FOR DEVELOPMENT PERMIT	CR	CR

Revisions / Issued For

Consultants

Seal

The Alberta Association of Landscape Architects  
Cory G. Rockel  
Re-issued for Development Permit  
2022-06-23

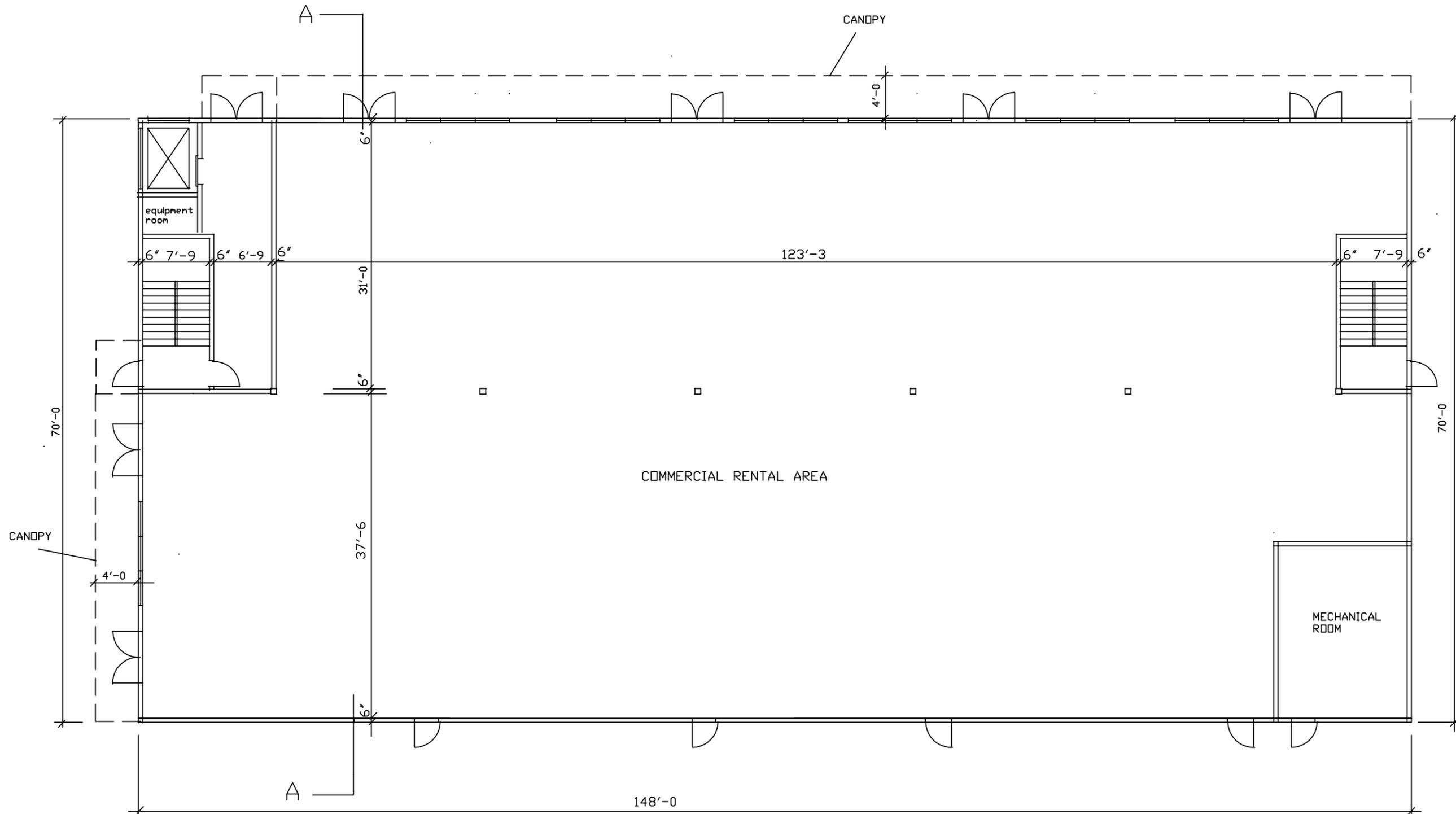
Rockel Designs #15 51511 RR 264 Spruce Grove, Alberta T7Y 1C7 Ph: 780-918-0349

Scale: AS NOTED Job No.: 1000.0011.01  
Date: JUNE 23, 2022 Drawn by: CR  
Checked by: CR Designed by: CR

Project:  
BEAUMONT COMMERCIAL - APARTMENT DEVELOPMENT  
6206 - 29 AVENUE  
BEAUMONT

Drawing: WASTE ENCLOSURE DETAILS Sheet: L3  
Revision: 00

Approved September 2, 2022  
Development Officer



MAIN FLOOR PLAN 1/8"=1'-0"

KENNETH R. POWLEY  
ARCHITECT

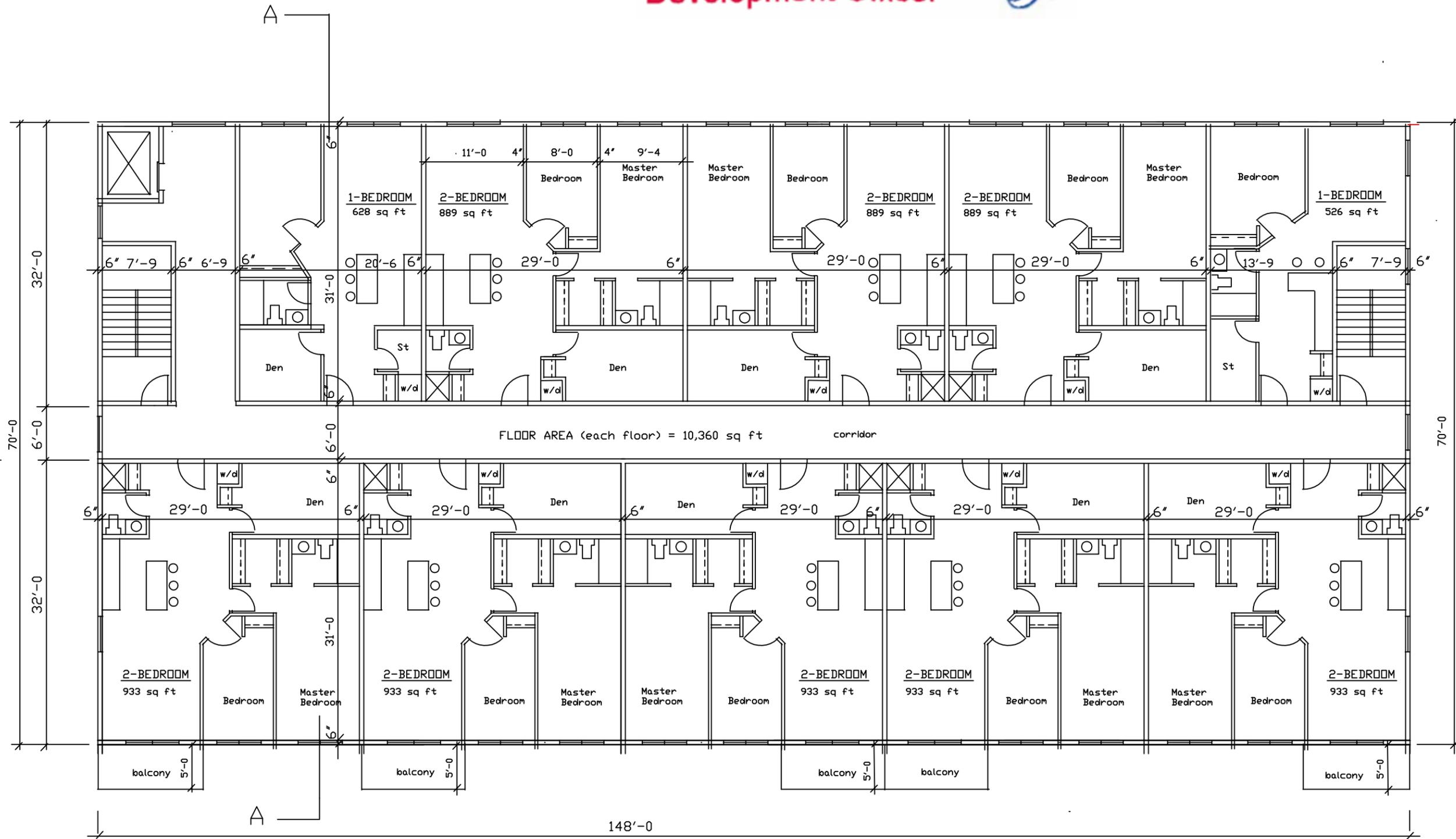


COMMERCIAL/APARTMENT BUILDING  
6206 - 29 Avenue  
Beaumont, Alberta  
MAIN FLOOR PLAN

Nov 2021 krp  
Job No 2123

A-2

Approved September 2, 2022  
 Development Officer



SECOND, THIRD, FOURTH FLOORS 1/8"=1'-0"

KENNETH R. POWLEY  
 ARCHITECT

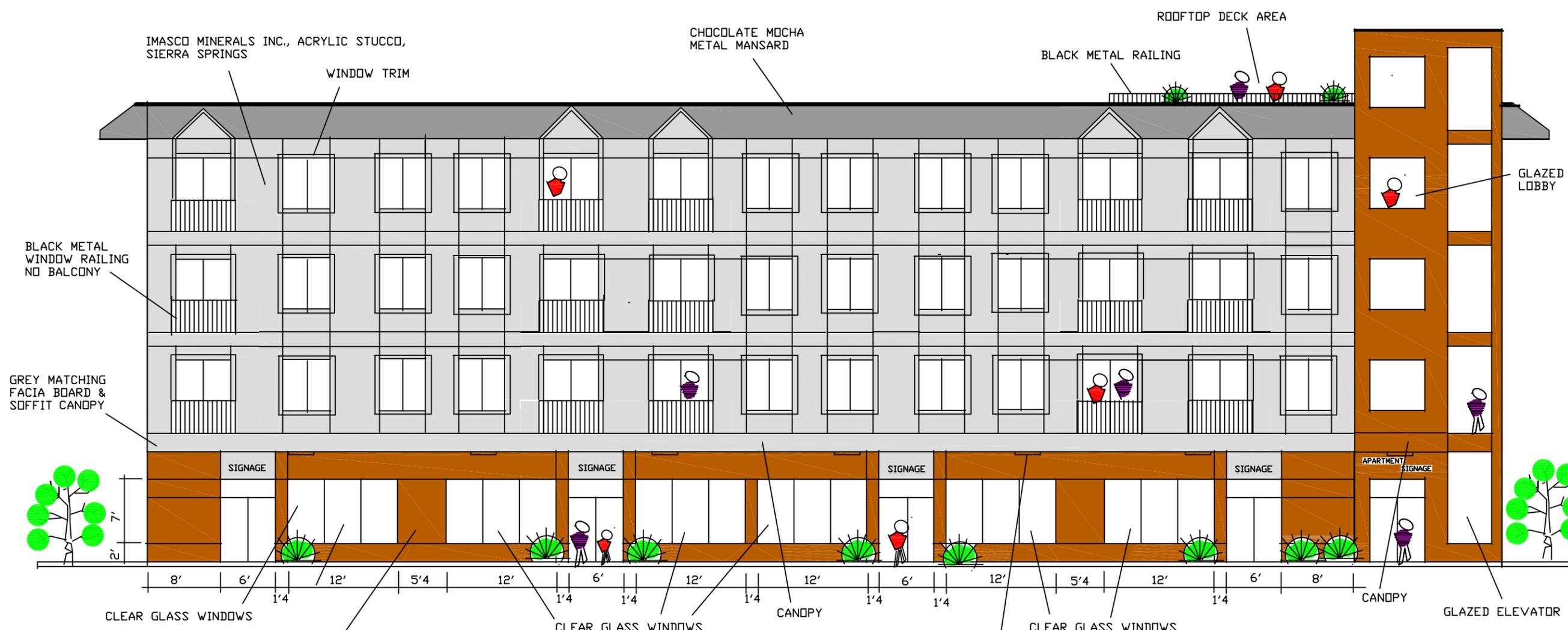


COMMERCIAL/APARTMENT BUILDING  
 6206 - 29 Avenue  
 Beaumont, Alberta  
 SECOND, THIRD, FOURTH FLOORS

Nov 2021 krp

Job No 2123

A-3



IMASCO MINERALS INC., ACRYLIC STUCCO, SIERRA SPRINGS

WINDOW TRIM

CHOCOLATE MOCHA METAL MANSARD

ROOFTOP DECK AREA

BLACK METAL RAILING

GLAZED LOBBY

BLACK METAL WINDOW RAILING NO BALCONY

GREY MATCHING FACIA BOARD & SOFFIT CANOPY

SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

APARTMENT SIGNAGE

8' 6' 12' 5'4 12' 1'4 6' 1'4 12' 1'4 12' 6' 12' 5'4 12' 1'4 6' 8' CANOPY CANOPY GLAZED ELEVATOR

CLEAR GLASS WINDOWS

CLEAR GLASS WINDOWS

CLEAR GLASS WINDOWS

GLAZED ELEVATOR

IMASCO MINERALS INC., ACRYLIC STUCCO, PIMENTO 260A-6A

RECESSED LIGHTING IN CANOPY SEE WAVE ENGINEERING DRAWINGS

CLEAR GLASS WINDOW/DOOR RATIO TO WALL:  
 $\frac{720 \text{ sq ft}}{1188 \text{ sq ft}} = 60\%$

KENNETH R. POWLEY  
 ARCHITECT



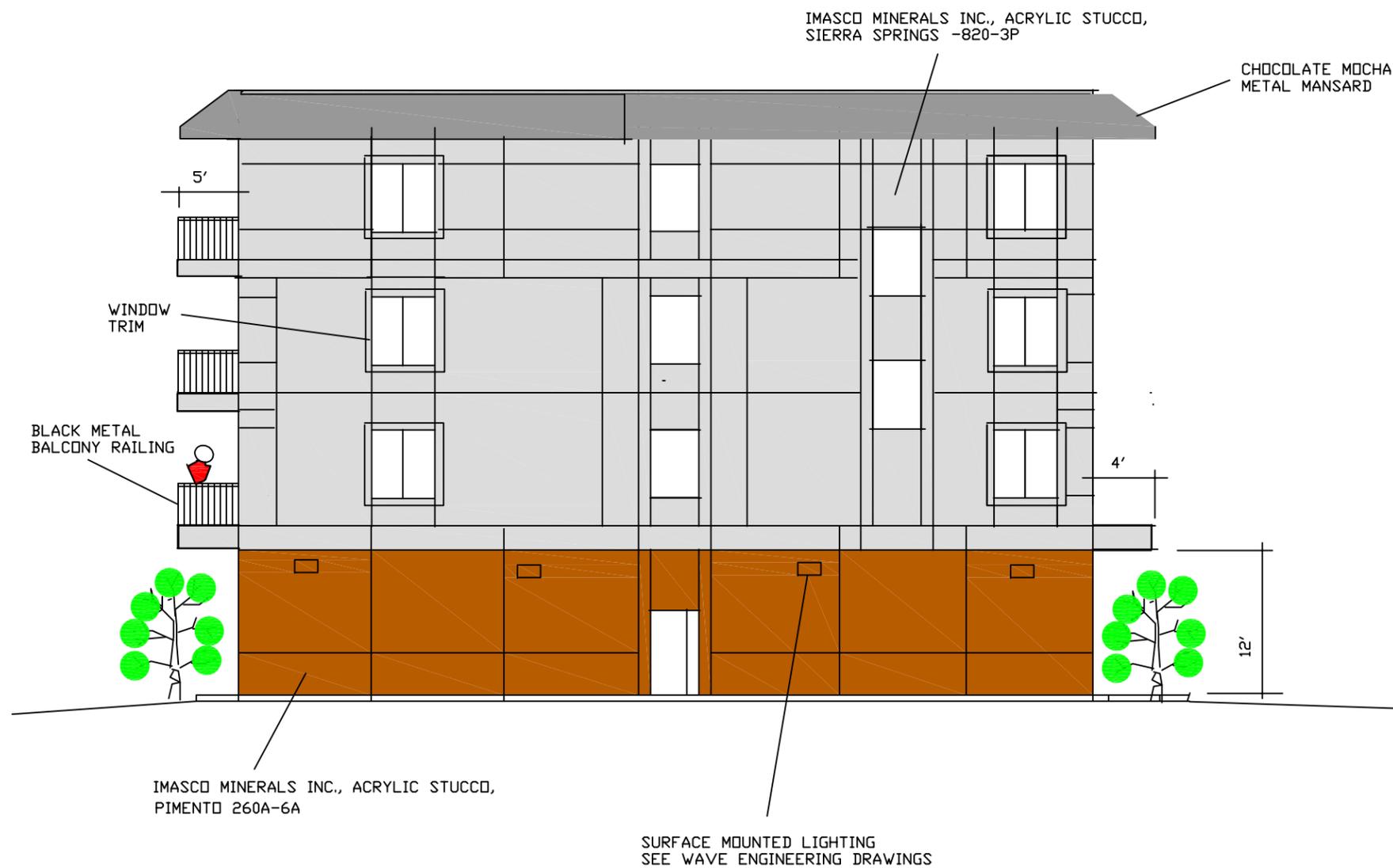
COMMERCIAL/APARTMENT BUILDING  
 6206 - 29 Avenue  
 Beaumont, Alberta  
 NORTH ELEVATION

Nov 2021 krp

Job No 2123

A-5

NORTH ELEVATION 1/8"=1'-0"



EAST ELEVATION

1/8"=1'-0"

KENNETH R. POWLEY  
ARCHITECT

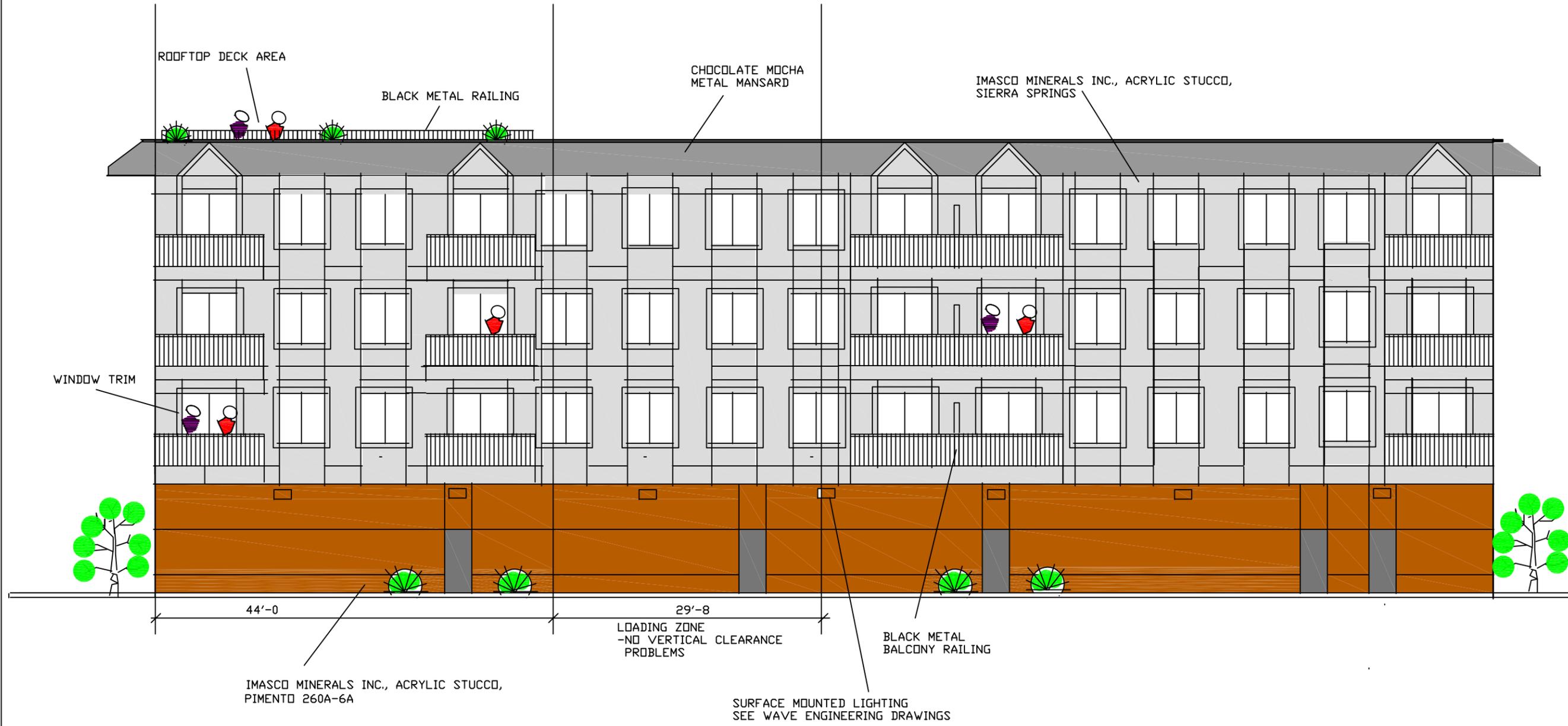


COMMERCIAL/APARTMENT BUILDING  
6206 - 29 Avenue  
Beaumont, Alberta  
EAST ELEVATION

Nov 2021 krp

Job No 2123

A-7



ROOFTOP DECK AREA

BLACK METAL RAILING

CHOCOLATE MOCHA METAL MANSARD

IMASCO MINERALS INC., ACRYLIC STUCCO, SIERRA SPRINGS

WINDOW TRIM

44'-0"

29'-8"

LOADING ZONE  
-NO VERTICAL CLEARANCE PROBLEMS

BLACK METAL BALCONY RAILING

IMASCO MINERALS INC., ACRYLIC STUCCO, PIMENTO 260A-6A

SURFACE MOUNTED LIGHTING  
SEE WAVE ENGINEERING DRAWINGS

SOUTH ELEVATION

1/8"=1'-0"

KENNETH R. POWLEY  
ARCHITECT



COMMERCIAL/APARTMENT BUILDING  
6206 - 29 Avenue  
Beaumont, Alberta  
SOUTH ELEVATION

Nov 2021 krp

Job No 2123

A-6



WEST (front) ELEVATION 1/8"=1'-0"

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 ARCHITECT

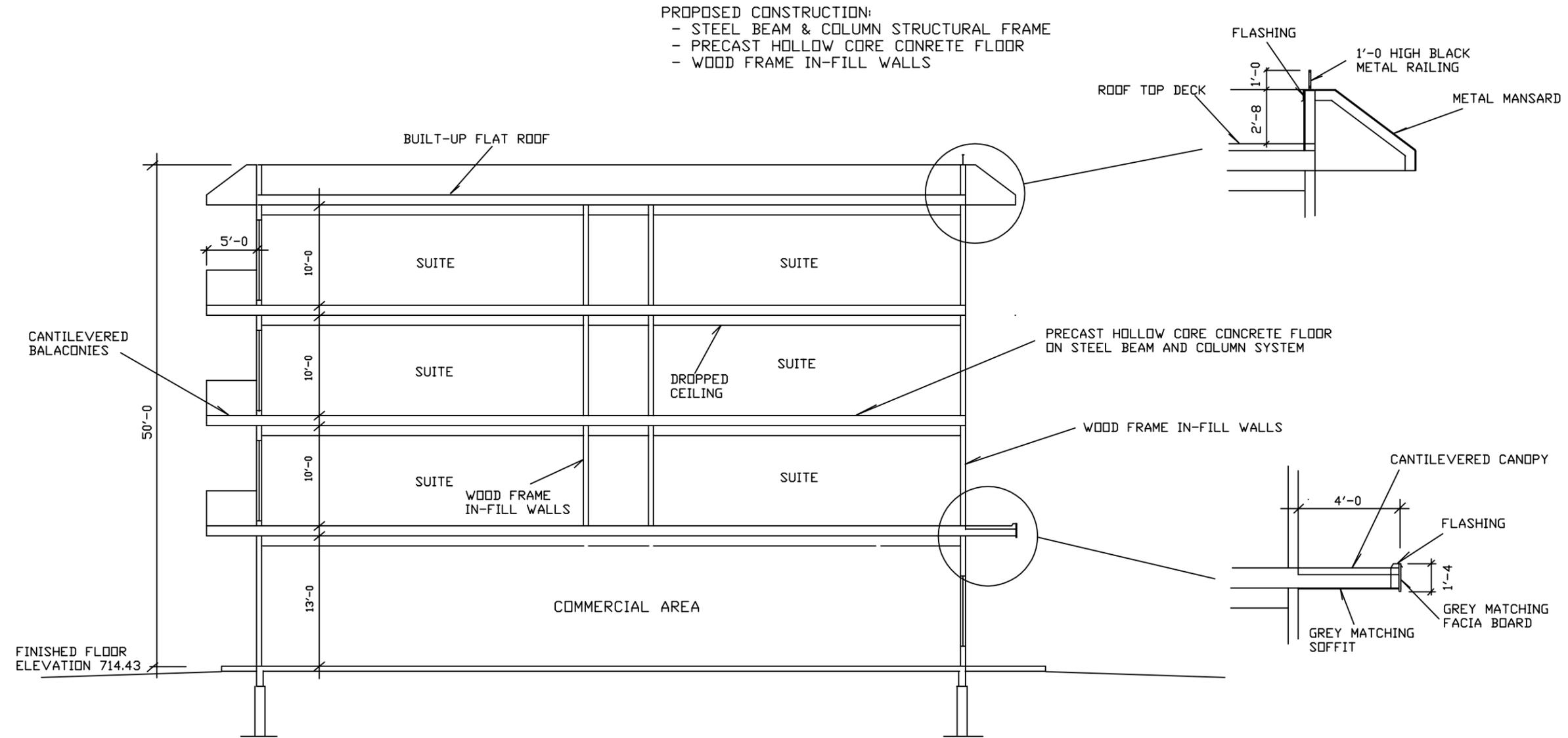


COMMERCIAL/APARTMENT BUILDING  
 6206 - 29 Avenue  
 Beaumont, Alberta  
 WEST (front) ELEVATION

Nov 2021 krp

Job No 2123

A-4



KENNETH R. POWLEY  
ARCHITECT



COMMERCIAL/APARTMENT BUILDING  
6206 - 29 Avenue  
Beaumont, Alberta  
BUILDING SECTION A-A

Nov 2021 krp

Job No 2123

A-8

BUILDING SECTION A-A

1/8"=1'-0"